

Eden Hills
Community Development District

Meeting Agenda

July 12, 2023

AGENDA

Eden Hills

Community Development District

219 E. Livingston St., Orlando, Florida 32801
Phone: 407-841-5524 - Fax: 407-839-1526

July 5, 2023

**Board of Supervisors
Eden Hills
Community Development District**

Dear Board Members:

The regular meeting of the Board of Supervisors of the **Eden Hills Community Development District** will be held on **Wednesday, July 12, 2023** from **4:00 PM to 6:00 PM** at the **Lake Alfred Public Library, 245 N. Seminole Ave., Lake Alfred, FL 33850.**

Zoom Video Join Link: <https://us06web.zoom.us/j/88240341487>

Call-In Information: 1-646-876-9923

Meeting ID: 882 4034 1487

Following is the advance agenda for the meeting:

Board of Supervisors Meeting

1. Roll Call
2. Public Comment Period (¹Speakers will fill out a card and submit it to the District Manager prior to the beginning of the meeting)
3. Approval of Minutes of the April 12, 2023 Board of Supervisors Meeting
4. Public Hearings
 - A. Public Hearing on the Adoption of the Fiscal Year 2024 Budget
 - i. Consideration of Resolution 2023-06 Adopting the District's Fiscal Year 2024 Budget and Appropriating Funds
 - B. Public Hearing on the Imposition of Operations and Maintenance Special Assessments
 - i. Consideration of Resolution 2023-07 Imposing Special Assessments and Certifying an Assessment Roll
5. Consideration of Resolution 2023-08 Designation of a Regular Monthly Meeting Date, Time, and Location for Fiscal Year 2024
6. Consideration of Resolution 2023-09 Designating a Date, Time, and Location for a Landowners' Meeting and Election
7. Consideration of Resolution 2023-10 Appointing an Assistant Treasurer
8. Consideration of Right of Way Agreement with the City of Lake Alfred
9. Staff Reports
 - A. Attorney

¹ Comments will be limited to three (3) minutes

- B. Engineer
 - i. Ratification of Dewberry Work Authorization for Annual Reporting Services
 - ii. Acceptance of Annual District Engineering Report
- C. Field Manager's Report
 - i. Consideration of Bids for Landscaping Maintenance
 - a) Floralawn
 - b) Prince and Sons
 - ii. Consideration of Proposal for Pond Maintenance Services
 - iii. Presentation of Conveyance Report for Phase 2 ROW Tracts Only
- D. District Manager's Report
 - i. Approval of Check Register
 - ii. Balance Sheet and Income Statements
- 10. Other Business
- 11. Supervisors Requests and Audience Comments
- 12. Adjournment

MINUTES

**MINUTES OF MEETING
EDEN HILLS
COMMUNITY DEVELOPMENT DISTRICT**

The regular meeting of the Board of Supervisors of the Eden Hills Community Development District was held Wednesday, **April 12, 2023** at 5:00 p.m. at the Lake Alfred Public Library, 245 N. Seminole Ave., Lake Alfred, Florida.

Present and constituting a quorum:

Eric Lavoie	Chairman
Jessica Kowalski	Vice Chairperson
Emily Cassidy	Assistant Secretary
Jessica Petrucci	Assistant Secretary
Bobbie Henley	Assistant Secretary

Also present were:

Jill Burns	District Manager, GMS
Lauren Gentry	District Counsel, KVV Law Group
Molly Banfield	District Engineer, Dewberry
Marshall Tindall	Field Manager, GMS

FIRST ORDER OF BUSINESS

Roll Call

Ms. Burns called the meeting to order and called the roll. Five Supervisors were present constituting a quorum.

SECOND ORDER OF BUSINESS

Public Comment Period

Ms. Burns opened the public comment period for anything that was on the agenda.

Marie Nicoletta noted that the development perimeter fence needs cleaning and the lights at the entry monument lights need to be checked. She also asked if there would be any bus stop shelters and it was stated that phase two has shelters in the plan but not in the near future.

Dave Stavus (253 Sophia Lane) stated that the speed limit on his street is 25 mph and noted that there are a lot of children in the neighborhood and would be more comfortable with a speed limit of 15 mph. Ms. Gentry reported that Florida statute places limits on what the speed limit can

be. 25 mph is a specially approved speed limit to be lower than the typical statutory limits and the sheriffs have mentioned that they cannot enforce speed limits as low as 15 mph.

THIRD ORDER OF BUSINESS

Approval of the Minutes of the February 15, 2023 Board of Supervisors Meeting

Ms. Burns presented the minutes from the February 15, 2023 Board of Supervisors meeting and asked for any questions, comments, or corrections the Board may have. Hearing no comments, she asked for a motion of approval.

On MOTION by Ms. Kowalski, seconded by Mr. Lavoie, with all in favor, the Minutes of the February 15, 2023 Board of Supervisors Meeting, were approved.

FOURTH ORDER OF BUSINESS

Public Hearing

A. Public Hearing on the Adoption of Amenity Policies and Rates for the District

Ms. Burns stated that the public hearing was advertised in the paper as per Florida statute and asked for a motion to open the public hearing.

On MOTION by Ms. Kowalski, seconded by Ms. Cassidy, with all in favor, Opening the Public Hearing, was approved.
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Ms. Burns opened the floor to public comment on the amenity policies and rates and discussion. Resident stated that a big concern was the age of a minor who is able to use the pool unsupervised. She is uncomfortable with the age of 14 and would like an older age for minors who are unaccompanied by an adult. She asked if minors are allowed to have friends with them. Ms. Burns stated that each household has a limit of 4 guests and guests need to be accompanied by someone over the age of 18. Ms. Gentry noted that there are restrictions that constitutionally justify why there are restrictions on lower ages and if the Board would like she can research the laws and that is something they could change in the future without having to hold another public hearing.

There being no other public comments, Ms. Burns asked for a motion to close the public hearing.

On MOTION by Ms. Kowalski, seconded by Ms. Cassidy, with all in favor, Closing the Public Hearing, was approved.

i. Consideration of Resolution 2023-03 Adopting Amenity Policies and Rates for the District

Ms. Burns noted that the resolution can be found in the agenda package for Board review and it has not changed since they were presented at the previous meeting. Ms. Burns highlighted some of the pool rules that include no smoking and drinking at the pool. All residents must use their access cards to enter the facility and have a registered amenity card. Food and drink are limited to designated areas. No pets excluding service animals. Lakes and ponds are catch and release only. Included is the suspension and termination of privileges. She asked for any questions from the Board. There being none she asked for motion to approve the resolution.

On MOTION by Mr. Lavoie, seconded by Ms. Kowalski, with all in favor, Resolution 2023-03 Adopting Amenity Policies and Rates for the District, was approved.

FIFTH ORDER OF BUSINESS

Consideration of Resolution 2023-04 Approving the Proposed Fiscal Year 2023/2024 Budget (Suggested Date: July 12, 2023), Declaring Special Assessments, and Setting the Public Hearings on the Adoption of the Fiscal Year 2023/2024 Budget and the Imposition of Operations and Maintenance Assessments

Ms. Burns noted the proposed date for the public hearing is July 12, 2023 at 4:00 p.m. The fiscal year starts October 1, 2023 and runs through September 30, 2024. They are required to set a preliminary budget that sets the cap for assessments. She stated that there are increases to several line items with inclusion of future phases that will be coming online with addition of landscaping and general repair and maintenance for field line items with a lot more land that will be accounted for. She continued to highlight different items in the budget for Board information. Ms. Burns added that staff is proposing an increase due to some of the amenity costs being prorated based on anticipated opening timeline. The proposed increase is \$1,083.25 which is an increase of \$276.80 per lot. If the Board approves, due to the increase, there is a requirement to send mailed notice to

all residents prior to the public hearing date notifying them of the increase giving them an opportunity to attend the public hearing.

On MOTION by Mr. Lavoie, seconded by Ms. Kowalski, with all in favor, Resolution 2023-04 Approving the Proposed Fiscal Year 2023/2024 Budget (Suggested Date July 12, 2023), Declaring Special Assessments, and Setting the Public Hearing on the Adoption of the Fiscal Year 2023/2024 Budget and the Imposition of Operations and Maintenance Assessments, was approved.

SIXTH ORDER OF BUSINESS

Consideration of Resolution 2023-05 Authorizing Bank Account Signatories

Ms. Burns stated that this appoints officers of the secretary, treasurer, and assistant treasurer to be authorized signers on the account.

On MOTION by Ms. Kowalski, seconded by Mr. Lavoie, with all in favor, Resolution 2023-05 Authorizing Bank Account Signatories, was approved.

SEVENTH ORDER OF BUSINESS

Staff Reports

A. Attorney

Ms. Gentry stated that she had nothing additional for the Board and will look into the amenity access age issue and report back to the Board at the next meeting.

B. Engineer

Ms. Banfield stated that she had nothing to report.

C. Field Manager's Report

Mr. Tindall presented the field manager's report to the Board which can be found in the agenda package. He reviewed the report for the Board by phase highlighting landscaping issues including mowing and irrigation problems due to the dry season. Now that the other amenity is online, they are considering proposals for services and fine-tuning numbers to hopefully be within budget while doing temporary mowing as needed until contracts are agreed upon and executed. He provided an update on the hog situation and stated that a trap was set up and baited. They believe there were 17 hogs in total and five have been caught. The Board directed staff to pause

the cost of trapping the hogs until they have a better idea of where they are congregating. Mr. Tindall will keep an eye on the situation and report back as necessary.

i. Consideration of Amenity Services Proposals

Mr. Tindall presented several proposals to the Board for consideration concerning the amenities and gave them a summary sheet of all of them.

a) Consideration of Proposals from Current Demands

- 1. Amenity Keycard Access Set-Up**
- 2. Amenity Security Cameras Set-Up**

Ms. Burns stated that Mr. Lavoie already approved this and now they are looking for a motion to ratify the amenity keycard and security camera setup.

On MOTION by Mr. Lavoie, seconded by Ms. Kowalski, with all in favor, the Current Demands Amenity Keycard Access Set-up, and Amenity Security Cameras Set-up, was ratified.

b) Consideration of Pond Maintenance Services Proposal from Aquatic Weed Management

Mr. Tindall noted that there are three ponds that they are tracking. Aquatic Weed Management is the only vendor who has presented a proposal with a cost of \$350 per month that does not include trash pickup. The Board asked for Mr. Tindall to hold off on this for now and bring the proposal back to the next meeting.

c) Consideration of Pool Maintenance Services Proposal from Resort Pool Services

Mr. Tindall stated that Resort Pools Services cost is \$3,000 per month that includes three times a month cleaning. Mr. Tindall did mention that this is over the amount that has been budgeted for the rest of the year. He noted that they were the only vendor to respond.

On MOTION by Mr. Lavoie, seconded by Ms. Kowalski, with all in favor, the Pool Maintenance Services Proposal from Resort Pools Services, was approved.

d) Consideration of Janitorial Maintenance Services Proposal from CSS

Mr. Tindall presented the proposal for janitorial services for the pool to the Board and they are recommending using CSS. The proposal can be found in the agenda package. He stated the amount of garbage cans plus the recommendation of two more. The total cost for amenity services and trash removal is \$5,700 monthly which is \$1,400 over budget. There is money remaining in contingency costs in the budget.

On MOTION by Mr. Lavoie, seconded by Ms. Kowalski, with all in favor, the Proposal from CSS for Janitorial Maintenance Service Proposals, was approved.

e) Consideration of Pest Control Services Proposal from Massey Services *(to be provided under separate cover)*

Mr. Tindall presented the proposal for pest control that was provided under separate cover totaling \$264 which is under budget.

On MOTION by Mr. Lavoie, seconded by Ms. Kowalski, with all in favor, the Proposal for Pest Control Services from Massey Services, was approved.

f) Consideration of Landscape Maintenance Services Contract Addendum for New Phase 2 Areas from Floralawn *(to be provided under separate cover)*

Ms. Burns stated that this item will be tabled until the next Board meeting in hope to negotiate a better rate to fit withing the Districts budget.

D. District Manager's Report

i. Approval of the Check Register

Ms. Burns presented the check register and stated that it is included in the agenda package. This is from January 1st through February 28th and total \$182,367.33 She offered to answer any question for the Board. Hearing none, she asked for a motion of approval.

On MOTION by Mr. Lavoie, seconded by Ms. Kowalski, with all in favor, the Check Register, was approved.

ii. Balance Sheet and Income Statement

Ms. Burns noted that the financial statements are also included in the agenda package for review, and they are for the Board information, no action is required.

iii. Ratification of Series 2022A Requisition #54

Ms. Burns presented the ratification of the Series 2022A requisition #54 that has already been approved by the Chair and the district engineer and she is looking for ratification.

On MOTION by Mr. Lavoie, seconded by Ms. Kowalski, with all in favor, the Series 2022A Requisition #54, was ratified.

EIGHTH ORDER OF BUSINESS

Other Business

There being no comments, the next item followed.

NINTH ORDER OF BUSINESS

Supervisors Requests and Audience Comments

- Resident (Ashley) asked if the Board is able to speak up because it is very hard to hear when it is not Ms. Burns talking.
- Resident (Yolanda) asked about pest control and is concerned about the removal of the pigs. She'd rather more attention be placed on mosquito mitigation. Ms. Burns replied that the City of Lake Alfred is supposed to be on top of spraying. Staff has already spoken to a representative and she is welcome to reach out as well.
- Unnamed resident asked about a picnic table at the pavilion by the playground. Staff stated that it is on its way. She mentions there is a lot of grass growing under the dock and Mr. Tindall noted that he's not aware of a plan for that but will monitor it, but this is pond vendor related. The splashpad mushroom at the pool is on a timer that will run throughout the day. She asked about the trash at the amenity and if a carry-in/carry-out system would work. Staff noted that it probably wouldn't work. She does not want to pay for the contractor's trash removal and Ms. Burns assured her that they would mention something to the contractors about taking their own trash but that this is set up for the residents and that most of the trash will indeed come from the mailboxes. She asked if there was an opening date and there is not a confirmed opening date as of yet. She asked if there was a possibility for assessment costs to come down, and Ms. Burns noted that it is possible, but

she can't say if it will or not. She complained about the streetlights not working and Ms. Burns noted that they are maintained by the utility provider, and they have been reported.

TENTH ORDER OF BUSINESS

Adjournment

Ms. Burns adjourned the meeting.

On MOTION by Mr. Lavoie, seconded by Ms. Kowalski, with all in favor, the meeting was adjourned.
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Secretary/Assistant Secretary

Chairman/Vice Chairman

SECTION IV

SECTION A

SECTION 1

RESOLUTION 2023-06

THE ANNUAL APPROPRIATION RESOLUTION OF THE EDEN HILLS COMMUNITY DEVELOPMENT DISTRICT (“DISTRICT”) RELATING TO THE ANNUAL APPROPRIATIONS AND ADOPTING THE BUDGETS FOR THE FISCAL YEAR BEGINNING OCTOBER 1, 2023, AND ENDING SEPTEMBER 30, 2024; AUTHORIZING BUDGET AMENDMENTS; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the District Manager has, prior to the fifteenth (15th) day in June, 2023, submitted to the Board of Supervisors (“**Board**”) of the Eden Hills Community Development District (“**District**”) proposed budgets (“**Proposed Budget**”) for the fiscal year beginning October 1, 2023 and ending September 30, 2024 (“**Fiscal Year 2023/2024**”) along with an explanatory and complete financial plan for each fund of the District, pursuant to the provisions of Section 190.008(2)(a), *Florida Statutes*; and

WHEREAS, at least sixty (60) days prior to the adoption of the Proposed Budget, the District filed a copy of the Proposed Budget with the local governing authorities having jurisdiction over the area included in the District pursuant to the provisions of Section 190.008(2)(b), *Florida Statutes*; and

WHEREAS, the Board set a public hearing thereon and caused notice of such public hearing to be given by publication pursuant to Section 190.008(2)(a), *Florida Statutes*; and

WHEREAS, the District Manager posted the Proposed Budget on the District’s website at least two days before the public hearing; and

WHEREAS, Section 190.008(2)(a), *Florida Statutes*, requires that, prior to October 1st of each year, the Board, by passage of the Annual Appropriation Resolution, shall adopt a budget for the ensuing fiscal year and appropriate such sums of money as the Board deems necessary to defray all expenditures of the District during the ensuing fiscal year; and

WHEREAS, the District Manager has prepared a Proposed Budget, whereby the budget shall project the cash receipts and disbursements anticipated during a given time period, including reserves for contingencies for emergency or other unanticipated expenditures during the fiscal year.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF SUPERVISORS OF THE EDEN HILLS COMMUNITY DEVELOPMENT DISTRICT:

SECTION 1. BUDGET

- a. The Board has reviewed the Proposed Budget, a copy of which is on file with the office of the District Manager and at the District’s Local Records Office, and hereby approves certain amendments thereto, as shown in Section 2 below.
- b. The Proposed Budget, attached hereto as **Exhibit “A,”** as amended by the Board, is hereby adopted in accordance with the provisions of Section 190.008(2)(a), *Florida Statutes* (“**Adopted Budget**”), and incorporated herein by reference; provided, however, that the comparative figures contained in the Adopted Budget may be subsequently revised as deemed necessary by the District Manager to reflect actual revenues and expenditures.

- c. The Adopted Budget, as amended, shall be maintained in the office of the District Manager and at the District's Local Records Office and identified as "The Budget for the Eden Hills Community Development District for the Fiscal Year Ending September 30, 2024."
- d. The Adopted Budget shall be posted by the District Manager on the District's official website within thirty (30) days after adoption, and shall remain on the website for at least 2 years.

SECTION 2. APPROPRIATIONS

There is hereby appropriated out of the revenues of the District, for Fiscal Year 2023/2024, the sum of \$ _____ to be raised by the levy of assessments and/or otherwise, which sum is deemed by the Board to be necessary to defray all expenditures of the District during said budget year, to be divided and appropriated in the following fashion:

TOTAL GENERAL FUND	\$ _____
CAPITAL RESERVE FUND	\$ _____
DEBT SERVICE FUND (SERIES 2020)	\$ _____
DEBT SERVICE FUND (SERIES 2022)	\$ _____
TOTAL ALL FUNDS	\$ _____

SECTION 3. BUDGET AMENDMENTS

Pursuant to Section 189.016, *Florida Statutes*, the District at any time within Fiscal Year 2023/2024 or within 60 days following the end of the Fiscal Year 2023/2024 may amend its Adopted Budget for that fiscal year as follows:

- a. A line-item appropriation for expenditures within a fund may be decreased or increased by motion of the Board recorded in the minutes, and approving the expenditure, if the total appropriations of the fund do not increase.
- b. The District Manager or Treasurer may approve an expenditure that would increase or decrease a line-item appropriation for expenditures within a fund if the total appropriations of the fund do not increase and if either (i) the aggregate change in the original appropriation item does not exceed the greater of \$15,000 or 15% of the original appropriation, or (ii) such expenditure is authorized by separate disbursement or spending resolution.
- c. Any other budget amendments shall be adopted by resolution and consistent with Florida law.

The District Manager or Treasurer must ensure that any amendments to the budget under paragraph c. above are posted on the District's website within five (5) days after adoption and remain on the website for at least two (2) years.

SECTION 4. EFFECTIVE DATE. This Resolution shall take effect immediately upon adoption.

PASSED AND ADOPTED THIS 12TH DAY OF JULY 2023.

ATTEST:

**EDEN HILLS COMMUNITY
DEVELOPMENT DISTRICT**

Secretary/Assistant Secretary

By:_____

Its:_____

Exhibit A: Fiscal Year 2023/2024 Budget

Eden Hills
Community Development District

Proposed Budget
FY2024



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Eden Hills
Community Development District
Proposed Budget
General Fund

Description	Adopted Budget FY2023	Actuals Thru 5/31/23	Projected Next 4 Months	Projected Thru 9/30/23	Proposed Budget FY2024
Revenues					
Assessments - Tax Roll	\$ 159,000	\$ 106,160	\$ 52,840	\$ 159,000	\$ 615,519
Assessments - Direct Bill	\$ 300,000	\$ 52,500	\$ 20,250	\$ 72,750	\$ 93,212
Assessments - Lot Closing	\$ -	\$ 227,250	\$ -	\$ 227,250	\$ -
Developer Contributions	\$ 101,192	\$ 20,000	\$ -	\$ 20,000	\$ -
Total Revenues	\$ 560,193	\$ 405,910	\$ 73,091	\$ 479,000	\$ 708,732
Expenditures					
<i>Administrative</i>					
Supervisor Fees	\$ 12,000	\$ 2,200	\$ 4,000	\$ 6,200	\$ 12,000
Engineering	\$ 20,000	\$ 1,333	\$ 4,668	\$ 6,000	\$ 18,000
Attorney	\$ 30,000	\$ 9,197	\$ 7,000	\$ 16,197	\$ 30,000
Annual Audit	\$ 7,250	\$ -	\$ 2,975	\$ 2,975	\$ 5,000
Assessment Administration	\$ 5,000	\$ 5,000	\$ -	\$ 5,000	\$ 6,500
Arbitrage	\$ 1,350	\$ -	\$ 900	\$ 900	\$ 1,350
Dissemination	\$ 7,000	\$ 4,000	\$ 2,000	\$ 6,000	\$ 7,000
Trustee Fees	\$ 10,650	\$ 6,444	\$ 2,020	\$ 8,464	\$ 10,650
Management Fees	\$ 37,853	\$ 25,235	\$ 12,618	\$ 37,853	\$ 39,745
Information Technology	\$ 1,800	\$ 1,200	\$ 600	\$ 1,800	\$ 1,800
Website Technology	\$ 1,200	\$ 800	\$ 400	\$ 1,200	\$ 1,200
Postage & Delivery	\$ 850	\$ 248	\$ 283	\$ 531	\$ 893
Insurance	\$ 6,250	\$ 5,563	\$ -	\$ 5,563	\$ 6,119
Copies	\$ 1,000	\$ 9	\$ 333	\$ 342	\$ 1,050
Legal Advertising	\$ 10,000	\$ 1,063	\$ 5,522	\$ 6,585	\$ 7,500
Other Current Charges	\$ 2,800	\$ 262	\$ 152	\$ 414	\$ 1,200
Office Supplies	\$ 500	\$ 8	\$ 167	\$ 174	\$ 500
Dues, Licenses & Subscriptions	\$ 175	\$ 175	\$ -	\$ 175	\$ 175
Total Administrative	\$ 155,678	\$ 62,736	\$ 43,638	\$ 106,374	\$ 150,682
<i>Operations & Maintenance</i>					
Field Expenditures					
Property Insurance	\$ 14,400	\$ 7,153	\$ -	\$ 7,153	\$ 14,000
Field Management	\$ 15,000	\$ 5,000	\$ 5,000	\$ 10,000	\$ 15,750
Landscape Maintenance	\$ 70,000	\$ 20,139	\$ 7,648	\$ 27,787	\$ 155,000
Landscape Replacement	\$ 7,500	\$ -	\$ 2,500	\$ 2,500	\$ 25,000
Lake Maintenance	\$ -	\$ -	\$ -	\$ -	\$ 8,500
Streetlights	\$ 84,000	\$ 13,060	\$ 24,880	\$ 37,940	\$ 70,000
Electric	\$ 6,000	\$ 2,614	\$ 2,000	\$ 4,614	\$ 6,000
Sidewalk & Asphalt Maintenance	\$ 2,000	\$ -	\$ 667	\$ 667	\$ 2,500
Irrigation Repairs	\$ 5,000	\$ 2,190	\$ 1,667	\$ 3,856	\$ 7,500
General Repairs & Maintenance	\$ 7,500	\$ 10,314	\$ 2,500	\$ 12,814	\$ 15,000
Contingency	\$ 7,500	\$ 9,785	\$ 2,500	\$ 12,285	\$ 7,500
Subtotal Field Expenditures	\$ 218,900	\$ 70,255	\$ 49,361	\$ 119,616	\$ 326,750

Eden Hills
Community Development District
Proposed Budget
General Fund

Description	Adopted Budget FY2023	Actuals Thru 5/31/23	Projected Next 4 Months	Projected Thru 9/30/23	Proposed Budget FY2024
Amenity Expenditures					
Amenity - Electric	\$ 9,600	\$ 3,023	\$ 9,776	\$ 12,799	\$ 13,000
Amenity - Water	\$ 2,333	\$ 110	\$ 1,200	\$ 1,310	\$ 3,600
Playground & Equipment Lease	\$ 31,400	\$ 34,035	\$ 17,018	\$ 51,052	\$ 62,800
Internet	\$ 2,000	\$ 261	\$ 1,040	\$ 1,301	\$ 2,000
Pest Control	\$ 480	\$ -	\$ -	\$ -	\$ 600
Janitorial Service	\$ 4,333	\$ -	\$ -	\$ -	\$ 14,000
Security Services	\$ 25,000	\$ 13,200	\$ -	\$ 13,200	\$ 33,000
Amenity Access Management	\$ 3,333	\$ 417	\$ 1,667	\$ 2,083	\$ 6,000
Pool Maintenance	\$ 12,000	\$ 2,480	\$ 10,000	\$ 12,480	\$ 36,000
Amenity Repairs & Maintenance	\$ 5,000	\$ -	\$ 1,000	\$ 1,000	\$ 15,000
Contingency	\$ 10,000	\$ -	\$ -	\$ -	\$ 7,500
Subtotal Amenity Expenditures	\$ 105,480	\$ 53,526	\$ 41,700	\$ 95,226	\$ 193,500
<u>Total Operations & Maintenance</u>	\$ 324,380	\$ 123,780	\$ 91,062	\$ 214,842	\$ 520,250
<u>Other Expenditures</u>					
Capital Reserves - Transfer	\$ 80,135	\$ -	\$ 80,135	\$ 80,135	\$ 37,800
<u>Total Other Expenditures</u>	\$ 80,135	\$ -	\$ 80,135	\$ 80,135	\$ 37,800
Total Expenditures	\$ 560,193	\$ 186,517	\$ 214,834	\$ 401,351	\$ 708,732
Excess Revenues/(Expenditures)	\$ (0)	\$ 219,393	\$ (141,744)	\$ 77,649	\$ -

Net Assessments	\$708,732
Add: Discounts & Collections 7%	\$53,345
Gross Assessments	\$762,077

Product	ERU's	Assessable Units	ERU/Unit	Net Assessment	Net Per Unit	Gross Per Unit
Platted Future Phases	611.00	611	1.00	\$615,519.33	\$1,007.40	\$1,083.22
Unplatted Future Phases	92.53	498	0.19	\$93,212.29	\$187.17	\$201.26
703.53		1109		\$708,731.63		

Product	FY2024	FY2023	Increase/ (Decrease)
Platted	\$1,083.22	\$806.45	\$276.77
Unplatted	\$201.26	\$0.00	\$201.26

Eden Hills

Community Development District

General Fund Budget

Revenues:

Assessments

The District will levy a non-ad valorem assessment on all the assessable property within the District in order to pay for operating expenditures during the fiscal year.

Developer Contributions

The District will enter into a Funding Agreement with the Developer to fund General Fund expenditures not covered by Assessments during the fiscal year.

Expenditures:

General & Administrative:

Supervisor Fees

Chapter 190, Florida Statutes, allows for each Board member to receive \$200 per meeting, not to exceed \$4,800 per year paid to each Supervisor for the time devoted to District business and meetings.

Engineering

The District's engineer, Dewberry Engineer's Inc., provides general engineering services to the District, e.g. attendance and preparation for monthly board meetings, review invoices and various projects as directed by the Board of Supervisors and the District Manager.

Attorney

The District's legal counsel, KE Law Group, PLLC., provides general legal services to the District, e.g. attendance and preparation for meetings, preparation and review of agreements, resolutions, etc. as directed by the Board of Supervisors and the District Manager.

Annual Audit

The District is required by Florida Statutes to arrange for an independent audit of its financial records on an annual basis. The district is currently contracted with Berger, Toombs, Elam, Gaines & Frank for this service.

Assessment Administration

The District is contracted with Governmental Management Services – Central Florida, LLC to levy and administer the collection of non-ad valorem assessment on all assessable property within the District.

Arbitrage

The District will contract with an independent certified public accountant to annually calculate the District's Arbitrage Rebate Liability on its Series 2020 and 2022 bonds. This line item also includes costs for another anticipated bond series.

Eden Hills

Community Development District

General Fund Budget

Dissemination

The District is required by the Security and Exchange Commission to comply with Rule 15c2-12(b)(5) which relates to additional reporting requirements for unrated bond issues. This cost is based upon the Series 2020 and 2022 bonds, as well as another anticipated bond series. Governmental Management Services – Central Florida, LLC completes these reporting requirements.

Trustee Fees

The District incurs trustee related costs payable to USBank for its' issued bonds.

Management Fees

The District receives Management, Accounting and Administrative services as part of a Management Agreement with Governmental Management Services - Central Florida, LLC. The services include but are not limited to, recording and transcription of board meetings, administrative services, budget preparation, all financial reports, annual audits, etc.

Information Technology

Represents costs related to the District's information systems, which include but are not limited to video conferencing services, cloud storage services and servers, security, accounting software, etc. Governmental Management Services – Central Florida, LLC provides these systems.

Website Maintenance

Represents the costs associated with monitoring and maintaining the District's website created in accordance with Chapter 189, Florida Statutes. These services include site performance assessments, security and firewall maintenance, updates, document uploads, hosting and domain renewals, website backups, etc. Governmental Management Services – Central Florida, LLC provides these services.

Postage & Delivery

The District incurs charges for mailing of Board meeting agenda packages, overnight deliveries, correspondence, etc.

Insurance

The District's general liability and public official's liability insurance coverage is provided by the Florida Insurance Alliance (FIA). FIA specializes in providing insurance coverage to governmental agencies.

Copies

Copies agenda packages for board meetings, printing of computerized checks, stationary, envelopes, etc.

Legal Advertising

The District is required to advertise various notices for monthly Board meetings, public hearings, etc. in a newspaper of general circulation.

Other Current Charges

Bank charges and any other miscellaneous expenses incurred during the year.

Eden Hills

Community Development District

General Fund Budget

Office Supplies

Any supplies that may need to be purchased during the fiscal year, e.g., paper, minute books, file folders, labels, paper clips, etc.

Dues, Licenses & Subscriptions

The District is required to pay an annual fee to the Florida Department of Economic Opportunity for \$175. This is the only expense under this category for the District.

Operations & Maintenance:

Field Expenditures

Property Insurance

The District's property insurance coverage is provided by Florida Insurance Alliance (FIA). FIA specializes in providing insurance coverage to governmental agencies.

Field Management

Governmental Management Services – Central Florida, LLC provides onsite field management of contracts for the District such as landscape and lake maintenance. Services include onsite inspections, meetings with contractors, monitoring of utility accounts, attend Board meetings and receive and respond to property owner phone calls and emails.

Landscape Maintenance

Represents the estimated maintenance of the landscaping within the common areas of the District after the installation of landscape material has been completed. The District has contracted with Floralawn for these services.

Landscape Replacement

Represents the estimated cost of replacing landscaping within the common areas of the District.

Lake Maintenance

Represents estimated costs for the maintenance of any ponds and lakes located within the District.

Streetlights

Represents the cost to maintain street lights within the District Boundaries that are expected to be in place throughout the fiscal year.

Electric

Represents current and estimated electric charges of common areas throughout the District.

Eden Hills

Community Development District

General Fund Budget

Water & Sewer

Represents current and estimated costs for water and refuse services provided for common areas throughout the District.

Sidewalk & Asphalt Maintenance

Represents the estimated costs of maintaining the sidewalks and asphalt throughout the District's Boundary.

Irrigation Repairs

Represents the cost of maintaining and repairing the irrigation system. This includes the sprinklers, and irrigation wells.

General Repairs & Maintenance

Represents estimated costs for general repairs and maintenance of the District's common areas.

Contingency

Represents funds allocated to expenses that the District could incur throughout the fiscal year that do not fit into any field category.

Amenity Expenditures

Amenity - Electric

Represents estimated electric charges for the District's amenity facilities.

Amenity - Water

Represents estimated water charges for the District's amenity facilities.

Playground Equipment Lease

The District will enter into a leasing agreement for playgrounds equipment installed in the community.

Internet

Internet service will be added for use at the Amenity Center.

Pest Control

The District will incur costs for pest control treatments to its amenity facilities.

Janitorial Services

Represents estimated costs to provide janitorial services and supplies for the District's amenity facilities.

Eden Hills
Community Development District
General Fund Budget

Security Services

Represents the estimated cost of contracting a monthly security service for the District's amenity facilities as well as maintaining security systems in place.

Amenity Access Management

Represents the cost of managing access to the District's amenity facilities.

Pool Maintenance

Represents estimated costs of regular cleaning and treatments of the District's pool.

Amenity Repairs & Maintenance

Represents estimated costs for repairs and maintenance of the District's amenity facilities.

Contingency

Represents funds allocated to expenses that the District could incur throughout the fiscal year that do not fit into any amenity category.

Other Expenditures:

Capital Reserves - Transfer

Funds collected and reserved for the replacement of and/or purchase of new capital improvements throughout the District.

Eden Hills
Community Development District
Proposed Budget
Series 2020 Debt Service Fund

Description	Adopted Budget FY2023	Actual Thru 5/31/23	Projected Next 4 Months	Projected Thru 9/30/23	Proposed Budget FY2024
Revenues					
Assessments - Tax Roll	\$ 172,075	\$ 171,625	\$ 450	\$ 172,075	\$ 172,075
Interest Income	\$ -	\$ 4,035	\$ 2,017	\$ 6,052	\$ -
Carry Forward Surplus	\$ 60,727	\$ 64,934	\$ -	\$ 64,934	\$ 75,049
Total Revenues	\$ 232,802	\$ 240,594	\$ 2,468	\$ 243,061	\$ 247,124
Expenses					
Interest - 11/1	\$ 56,506	\$ 56,506	\$ -	\$ 56,506	\$ 55,750
Principal - 5/1	\$ 55,000	\$ 55,000	\$ -	\$ 55,000	\$ 60,000
Interest - 5/1	\$ 56,506	\$ 56,506	\$ -	\$ 56,506	\$ 55,750
Total Expenditures	\$ 168,013	\$ 168,013	\$ -	\$ 168,013	\$ 171,500
Excess Revenues/(Expenditures)	\$ 64,789	\$ 72,581	\$ 2,468	\$ 75,049	\$ 75,624

Interest Expense 11/1/24	\$ 54,925
Total	\$ 54,925

Product	Assessable Units	Maximum Annual Debt Service	Net Assessment Per Unit	Gross Assessment Per Unit
Single Family	142	\$ 172,075	\$ 1,212	\$ 1,303
	142	\$ 172,075		

Eden Hills
Community Development District
Series 2020 Special Assessment Bonds
Amortization Schedule

DATE	BALANCE	PRINCIPAL	INTEREST	TOTAL
11/01/23	\$ 2,840,000.00	\$ -	\$ 55,750.00	\$ 167,256.25
05/01/24	\$ 2,840,000.00	\$ 60,000.00	\$ 55,750.00	\$ -
11/01/24	\$ 2,780,000.00	\$ -	\$ 54,925.00	\$ 170,675.00
05/01/25	\$ 2,780,000.00	\$ 60,000.00	\$ 54,925.00	\$ -
11/01/25	\$ 2,720,000.00	\$ -	\$ 54,100.00	\$ 169,025.00
05/01/26	\$ 2,720,000.00	\$ 60,000.00	\$ 54,100.00	\$ -
11/01/26	\$ 2,660,000.00	\$ -	\$ 53,125.00	\$ 167,225.00
05/01/27	\$ 2,660,000.00	\$ 65,000.00	\$ 53,125.00	\$ -
11/01/27	\$ 2,595,000.00	\$ -	\$ 52,068.75	\$ 170,193.75
05/01/28	\$ 2,595,000.00	\$ 65,000.00	\$ 52,068.75	\$ -
11/01/28	\$ 2,530,000.00	\$ -	\$ 51,012.50	\$ 168,081.25
05/01/29	\$ 2,530,000.00	\$ 70,000.00	\$ 51,012.50	\$ -
11/01/29	\$ 2,460,000.00	\$ -	\$ 49,875.00	\$ 170,887.50
05/01/30	\$ 2,460,000.00	\$ 70,000.00	\$ 49,875.00	\$ -
11/01/30	\$ 2,390,000.00	\$ -	\$ 48,737.50	\$ 168,612.50
05/01/31	\$ 2,390,000.00	\$ 75,000.00	\$ 48,737.50	\$ -
11/01/31	\$ 2,315,000.00	\$ -	\$ 47,237.50	\$ 170,975.00
05/01/32	\$ 2,315,000.00	\$ 75,000.00	\$ 47,237.50	\$ -
11/01/32	\$ 2,240,000.00	\$ -	\$ 45,737.50	\$ 167,975.00
05/01/33	\$ 2,240,000.00	\$ 80,000.00	\$ 45,737.50	\$ -
11/01/33	\$ 2,160,000.00	\$ -	\$ 44,137.50	\$ 169,875.00
05/01/34	\$ 2,160,000.00	\$ 85,000.00	\$ 44,137.50	\$ -
11/01/34	\$ 2,075,000.00	\$ -	\$ 42,437.50	\$ 171,575.00
05/01/35	\$ 2,075,000.00	\$ 85,000.00	\$ 42,437.50	\$ -
11/01/35	\$ 1,990,000.00	\$ -	\$ 40,737.50	\$ 168,175.00
05/01/36	\$ 1,990,000.00	\$ 90,000.00	\$ 40,737.50	\$ -
11/01/36	\$ 1,900,000.00	\$ -	\$ 38,937.50	\$ 169,675.00
05/01/37	\$ 1,900,000.00	\$ 95,000.00	\$ 38,937.50	\$ -
11/01/37	\$ 1,805,000.00	\$ -	\$ 37,037.50	\$ 170,975.00
05/01/38	\$ 1,805,000.00	\$ 100,000.00	\$ 37,037.50	\$ -
11/01/38	\$ 1,705,000.00	\$ -	\$ 35,037.50	\$ 172,075.00
05/01/39	\$ 1,705,000.00	\$ 100,000.00	\$ 35,037.50	\$ -
11/01/39	\$ 1,605,000.00	\$ -	\$ 33,037.50	\$ 168,075.00
05/01/40	\$ 1,605,000.00	\$ 105,000.00	\$ 33,037.50	\$ -
11/01/40	\$ 1,500,000.00	\$ -	\$ 30,937.50	\$ 168,975.00
05/01/41	\$ 1,500,000.00	\$ 110,000.00	\$ 30,937.50	\$ -
11/01/41	\$ 1,390,000.00	\$ -	\$ 28,668.75	\$ 169,606.25
05/01/42	\$ 1,390,000.00	\$ 115,000.00	\$ 28,668.75	\$ -
11/01/42	\$ 1,275,000.00	\$ -	\$ 26,296.88	\$ 169,965.63
05/01/43	\$ 1,275,000.00	\$ 120,000.00	\$ 26,296.88	\$ -
11/01/43	\$ 1,155,000.00	\$ -	\$ 23,821.88	\$ 170,118.75
05/01/44	\$ 1,155,000.00	\$ 125,000.00	\$ 23,821.88	\$ -
11/01/44	\$ 1,030,000.00	\$ -	\$ 21,243.75	\$ 170,065.63

Eden Hills
Community Development District
Series 2020 Special Assessment Bonds
Amortization Schedule

DATE		BALANCE	PRINCIPAL		INTEREST		TOTAL
05/01/45	\$	1,030,000.00	\$	130,000.00	\$	21,243.75	\$ -
11/01/45	\$	900,000.00	\$	-	\$	18,562.50	\$ 169,806.25
05/01/46	\$	900,000.00	\$	135,000.00	\$	18,562.50	\$ -
11/01/46	\$	765,000.00	\$	-	\$	15,778.13	\$ 169,340.63
05/01/47	\$	765,000.00	\$	140,000.00	\$	15,778.13	\$ -
11/01/47	\$	625,000.00	\$	-	\$	12,890.63	\$ 168,668.75
05/01/48	\$	625,000.00	\$	145,000.00	\$	12,890.63	\$ -
11/01/48	\$	480,000.00	\$	-	\$	9,900.00	\$ 167,790.63
05/01/49	\$	480,000.00	\$	155,000.00	\$	9,900.00	\$ -
11/01/49	\$	325,000.00	\$	-	\$	6,703.13	\$ 171,603.13
05/01/50	\$	325,000.00	\$	160,000.00	\$	6,703.13	\$ -
11/01/50	\$	165,000.00	\$	-	\$	3,403.13	\$ 170,106.25
05/01/51	\$	165,000.00	\$	165,000.00	\$	3,403.13	\$ 168,403.13
				\$ 2,895,000.00	\$ 2,077,287.50	\$	5,084,550.00

Eden Hills
Community Development District
Proposed Budget
Series 2022 Debt Service Fund

Description	Adopted Budget FY2023	Actual Thru 5/31/23	Projected Next 4 Months	Projected Thru 9/30/23	Proposed Budget FY2024
Revenues					
Assessments	\$ 604,294	\$ 444,325	\$ 159,969	\$ 604,294	\$ 604,294
Interest Income	\$ -	\$ 19,647	\$ 9,824	\$ 29,471	\$ -
Carry Forward Surplus	\$ 263,525	\$ 273,571	\$ -	\$ 273,571	\$ 242,587
Total Revenues	\$ 867,819	\$ 737,543	\$ 169,793	\$ 907,336	\$ 846,881
Expenses					
Interest - 11/1	\$ 263,518	\$ 263,518	\$ -	\$ 263,518	\$ 203,063
Principal - 5/1	\$ 195,000	\$ 195,000	\$ -	\$ 195,000	\$ 200,000
Interest - 5/1	\$ 206,231	\$ 206,231	\$ -	\$ 206,231	\$ 203,063
Total Expenditures	\$ 664,749	\$ 664,749	\$ -	\$ 664,749	\$ 606,125
Total Other Financing Sources (Uses)	\$ -	\$ -	\$ -	\$ -	\$ -
Excess Revenues/(Expenditures)	\$ 203,070	\$ 72,794	\$ 169,793	\$ 242,587	\$ 240,756

Interest Expense 11/1/24	\$ 199,813
Total	\$ 199,813

Product	Assessable Units	Maximum Annual Debt Service	Net Assessment Per Unit	Gross Assessment Per Unit
Single Family - Phase 2A-1	233	\$ 315,712	\$ 1,355	\$ 1,457
Single Family - Phase 2A-2	167	\$ 201,506	\$ 1,207	\$ 1,297
Single Family - Phase 2B	69	\$ 87,076	\$ 1,262	\$ 1,357
	469	\$ 604,294		

Eden Hills
Community Development District
Series 2022 Special Assessment Bonds
Amortization Schedule

DATE		BALANCE		PRINCIPAL		INTEREST		TOTAL
11/01/23	\$	10,270,000.00	\$	-	\$	203,062.50	\$	604,293.75
05/01/24	\$	10,270,000.00	\$	200,000.00	\$	203,062.50	\$	-
11/01/24	\$	10,070,000.00	\$	-	\$	199,812.50	\$	602,875.00
05/01/25	\$	10,070,000.00	\$	205,000.00	\$	199,812.50	\$	-
11/01/25	\$	9,435,000.00	\$	-	\$	196,481.25	\$	601,293.75
05/01/26	\$	9,435,000.00	\$	210,000.00	\$	196,481.25	\$	-
11/01/26	\$	9,435,000.00	\$	-	\$	193,068.75	\$	599,550.00
05/01/27	\$	9,435,000.00	\$	220,000.00	\$	193,068.75	\$	-
11/01/27	\$	9,435,000.00	\$	-	\$	189,493.75	\$	602,562.50
05/01/28	\$	9,435,000.00	\$	225,000.00	\$	189,493.75	\$	-
11/01/28	\$	9,210,000.00	\$	-	\$	185,415.63	\$	599,909.38
05/01/29	\$	9,210,000.00	\$	235,000.00	\$	185,415.63	\$	-
11/01/29	\$	8,975,000.00	\$	-	\$	181,156.25	\$	601,571.88
05/01/30	\$	8,975,000.00	\$	245,000.00	\$	181,156.25	\$	-
11/01/30	\$	8,215,000.00	\$	-	\$	176,715.63	\$	602,871.88
05/01/31	\$	8,215,000.00	\$	255,000.00	\$	176,715.63	\$	-
11/01/31	\$	8,215,000.00	\$	-	\$	172,093.75	\$	603,809.38
05/01/32	\$	8,215,000.00	\$	260,000.00	\$	172,093.75	\$	-
11/01/32	\$	8,215,000.00	\$	-	\$	167,381.25	\$	599,475.00
05/01/33	\$	8,215,000.00	\$	275,000.00	\$	167,381.25	\$	-
11/01/33	\$	7,940,000.00	\$	-	\$	161,881.25	\$	604,262.50
05/01/34	\$	7,940,000.00	\$	285,000.00	\$	161,881.25	\$	-
11/01/34	\$	7,655,000.00	\$	-	\$	156,181.25	\$	603,062.50
05/01/35	\$	7,655,000.00	\$	295,000.00	\$	156,181.25	\$	-
11/01/35	\$	7,360,000.00	\$	-	\$	150,281.25	\$	601,462.50
05/01/36	\$	7,360,000.00	\$	305,000.00	\$	150,281.25	\$	-
11/01/36	\$	7,055,000.00	\$	-	\$	144,181.25	\$	599,462.50
05/01/37	\$	7,055,000.00	\$	320,000.00	\$	144,181.25	\$	-
11/01/37	\$	6,735,000.00	\$	-	\$	137,781.25	\$	601,962.50
05/01/38	\$	6,735,000.00	\$	335,000.00	\$	137,781.25	\$	-
11/01/38	\$	6,400,000.00	\$	-	\$	131,081.25	\$	603,862.50
05/01/39	\$	6,400,000.00	\$	345,000.00	\$	131,081.25	\$	-
11/01/39	\$	6,055,000.00	\$	-	\$	124,181.25	\$	600,262.50
05/01/40	\$	6,055,000.00	\$	360,000.00	\$	124,181.25	\$	-
11/01/40	\$	4,930,000.00	\$	-	\$	116,981.25	\$	601,162.50
05/01/41	\$	4,930,000.00	\$	375,000.00	\$	116,981.25	\$	-
11/01/41	\$	4,930,000.00	\$	-	\$	109,481.25	\$	601,462.50
05/01/42	\$	4,930,000.00	\$	390,000.00	\$	109,481.25	\$	-
11/01/42	\$	4,930,000.00	\$	-	\$	101,681.25	\$	601,162.50
05/01/43	\$	4,930,000.00	\$	405,000.00	\$	101,681.25	\$	-
11/01/43	\$	4,525,000.00	\$	-	\$	93,328.13	\$	600,009.38
05/01/44	\$	4,525,000.00	\$	425,000.00	\$	93,328.13	\$	-
11/01/44	\$	4,100,000.00	\$	-	\$	84,562.50	\$	602,890.63

Eden Hills
Community Development District
Series 2022 Special Assessment Bonds
Amortization Schedule

DATE		BALANCE		PRINCIPAL		INTEREST		TOTAL	
05/01/45	\$	4,100,000.00	\$	440,000.00	\$	84,562.50	\$	-	
11/01/45	\$	3,660,000.00	\$	-	\$	75,487.50	\$	600,050.00	
05/01/46	\$	3,660,000.00	\$	460,000.00	\$	75,487.50	\$	-	
11/01/46	\$	3,200,000.00	\$	-	\$	66,000.00	\$	601,487.50	
05/01/47	\$	3,200,000.00	\$	480,000.00	\$	66,000.00	\$	-	
11/01/47	\$	2,720,000.00	\$	-	\$	56,100.00	\$	602,100.00	
05/01/48	\$	2,720,000.00	\$	500,000.00	\$	56,100.00	\$	-	
11/01/48	\$	2,220,000.00	\$	-	\$	45,787.50	\$	601,887.50	
05/01/49	\$	2,220,000.00	\$	520,000.00	\$	45,787.50	\$	-	
11/01/49	\$	1,700,000.00	\$	-	\$	35,062.50	\$	600,850.00	
05/01/50	\$	1,700,000.00	\$	545,000.00	\$	35,062.50	\$	-	
11/01/50	\$	1,155,000.00	\$	-	\$	23,821.88	\$	603,884.38	
05/01/51	\$	1,155,000.00	\$	565,000.00	\$	23,821.88	\$	-	
11/01/51	\$	590,000.00	\$	-	\$	12,168.75	\$	600,990.63	
05/01/52	\$	590,000.00	\$	590,000.00	\$	12,168.75	\$	602,168.75	
				\$	10,465,000.00	\$	7,851,173.96	\$	18,316,173.96

Eden Hills
Community Development District
Proposed Budget
Capital Reserve Fund

Description	Adopted Budget FY2023	Actual Thru 5/31/23	Projected Next 4 Months	Projected Thru 9/30/23	Proposed Budget FY2024
<u>Revenues</u>					
Carry Forward Surplus	\$ -	\$ -	\$ -	\$ -	\$ 80,135
Total Revenues	\$ -	\$ -	\$ -	\$ -	\$ 80,135
<u>Expenses</u>					
Capital Outlay	\$ -	\$ -	\$ -	\$ -	\$ 25,000
Total Expenditures	\$ -	\$ -	\$ -	\$ -	\$ 25,000
<u>Other Financing Sources</u>					
Transfer In/(Out)	\$ 80,135	\$ -	\$ 80,135	\$ 80,135	\$ 37,800
Total Other Financing Sources (Uses)	\$ 80,135	\$ -	\$ 80,135	\$ 80,135	\$ 37,800
Excess Revenues/(Expenditures)	\$ 80,135	\$ -	\$ 80,135	\$ 80,135	\$ 92,935

SECTION B

SECTION 1

RESOLUTION 2023-07

A RESOLUTION OF THE BOARD OF SUPERVISORS OF THE EDEN HILLS COMMUNITY DEVELOPMENT DISTRICT MAKING A DETERMINATION OF BENEFIT AND IMPOSING SPECIAL ASSESSMENTS FOR FISCAL YEAR 2023/2024; PROVIDING FOR THE COLLECTION AND ENFORCEMENT OF SPECIAL ASSESSMENTS, INCLUDING BUT NOT LIMITED TO PENALTIES AND INTEREST THEREON; CERTIFYING AN ASSESSMENT ROLL; PROVIDING FOR AMENDMENTS TO THE ASSESSMENT ROLL; PROVIDING A SEVERABILITY CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Eden Hills Community Development District ("**District**") is a local unit of special-purpose government established pursuant to Chapter 190, *Florida Statutes*, for the purpose of providing, operating and maintaining infrastructure improvements, facilities and services to the lands within the District; and

WHEREAS, the District is located in Polk County, Florida ("**County**"); and

WHEREAS, the District has constructed or acquired various infrastructure improvements and provides certain services in accordance with the District's adopted capital improvement plan and Chapter 190, *Florida Statutes*; and

WHEREAS, the Board of Supervisors ("**Board**") of the District hereby determines to undertake various operations and maintenance and other activities described in the District's budget ("**Adopted Budget**") for the fiscal year beginning October 1, 2023 and ending September 30, 2024 ("**Fiscal Year 2023/2024**"), attached hereto as **Exhibit "A**;" and

WHEREAS, the District must obtain sufficient funds to provide for the operation and maintenance of the services and facilities provided by the District as described in the Adopted Budget; and

WHEREAS, the provision of such services, facilities, and operations is a benefit to lands within the District; and

WHEREAS, Chapter 190, *Florida Statutes*, provides that the District may impose special assessments on benefitted lands within the District; and

WHEREAS, it is in the best interests of the District to proceed with the imposition of the special assessments for operations and maintenance in the amount set forth in the Adopted Budget; and

WHEREAS, the District has previously levied an assessment for debt service, which the District desires to certify for collection for Fiscal Year 2023/2024; and

WHEREAS, Chapter 197, *Florida Statutes*, provides a mechanism pursuant to which such special assessments may be placed on the tax roll and collected by the local tax collector ("**Uniform Method**"), and the District has previously authorized the use of the Uniform Method by, among other things, entering into agreements with the Property Appraiser and Tax Collector of the County for that purpose; and

WHEREAS, it is in the best interests of the District to adopt the assessment roll ("**Assessment Roll**") attached to this Resolution as **Exhibit "B**," and to certify the portion of the Assessment Roll related to certain developed property ("**Tax Roll Property**") to the County Tax Collector pursuant to the Uniform

Method and to directly collect the portion of the Assessment Roll relating to the remaining property (“**Direct Collect Property**”), all as set forth in **Exhibit “B;”** and

WHEREAS, it is in the best interests of the District to permit the District Manager to amend the Assessment Roll adopted herein, including that portion certified to the County Tax Collector by this Resolution, as the Property Appraiser updates the property roll for the County, for such time as authorized by Florida law.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF SUPERVISORS OF THE EDEN HILLS COMMUNITY DEVELOPMENT DISTRICT:

SECTION 1. BENEFIT & ALLOCATION FINDINGS. The provision of the services, facilities, and operations as described in **Exhibit “A”** confers a special and peculiar benefit to the lands within the District, which benefit exceeds or equals the cost of the assessments. The allocation of the assessments to the specially benefitted lands is shown in **Exhibits “A” and “B,”** and is hereby found to be fair and reasonable.

SECTION 2. ASSESSMENT IMPOSITION. Pursuant to Chapters 170, 190 and 197, *Florida Statutes*, and using the procedures authorized by Florida law for the levy and collection of special assessments, a special assessment for operation and maintenance is hereby imposed and levied on benefitted lands within the District and in accordance with **Exhibits “A” and “B.”** The lien of the special assessments for operations and maintenance imposed and levied by this Resolution shall be effective upon passage of this Resolution. Moreover, pursuant to Section 197.3632(4), *Florida Statutes*, the lien amount shall serve as the “maximum rate” authorized by law for operation and maintenance assessments.

SECTION 3. COLLECTION AND ENFORCEMENT; PENALTIES; INTEREST.

- A. **Tax Roll Assessments.** The operations and maintenance special assessments and previously levied debt service special assessments imposed on the Tax Roll Property shall be collected at the same time and in the same manner as County taxes in accordance with the Uniform Method, as set forth in **Exhibits “A” and “B.”**
- B. **Direct Bill Assessments.** The operations and maintenance special assessments and previously levied debt service special assessments imposed on the Direct Collect Property shall be collected directly by the District in accordance with Florida law, as set forth in **Exhibits “A” and “B.”** Assessments directly collected by the District are due in full on December 1, 2023; provided, however, that, to the extent permitted by law, the assessments due may be paid in several partial, deferred payments and according to the following schedule: 50% due no later than October 1, 2023, 25% due no later than February 1, 2024 and 25% due no later than May 1, 2024. In the event that an assessment payment is not made in accordance with the schedule stated above, the whole assessment – including any remaining partial, deferred payments for Fiscal Year 2023/2024, shall immediately become due and payable; shall accrue interest, penalties in the amount of one percent (1%) per month, and all costs of collection and enforcement; and shall either be enforced pursuant to a foreclosure action, or, at the District’s sole discretion, collected pursuant to the Uniform Method on a future tax bill, which amount may include penalties, interest, and costs of collection and enforcement. Any prejudgment interest on delinquent assessments shall accrue at the rate of any bonds secured by the assessments, or at the statutory prejudgment interest rate, as applicable. In the event an assessment subject to direct collection by the District shall be delinquent, the District Manager and District Counsel, without further authorization by the Board, may initiate foreclosure proceedings pursuant to Chapter 170, *Florida Statutes*, or other applicable law to collect and enforce the whole assessment, as set forth herein.

C. **Future Collection Methods.** The decision to collect special assessments by any particular method – e.g., on the tax roll or by direct bill – does not mean that such method will be used to collect special assessments in future years, and the District reserves the right in its sole discretion to select collection methods in any given year, regardless of past practices.

SECTION 4. ASSESSMENT ROLL. The Assessment Roll, attached to this Resolution as **Exhibit “B,”** is hereby certified for collection. That portion of the Assessment Roll which includes the Tax Roll Property is hereby certified to the County Tax Collector and shall be collected by the County Tax Collector in the same manner and time as County taxes. The proceeds therefrom shall be paid to the District.

SECTION 5. ASSESSMENT ROLL AMENDMENT. The District Manager shall keep apprised of all updates made to the County property roll by the Property Appraiser after the date of this Resolution, and shall amend the Assessment Roll in accordance with any such updates, for such time as authorized by Florida law, to the County property roll. After any amendment of the Assessment Roll, the District Manager shall file the updates in the District records.

SECTION 6. SEVERABILITY. The invalidity or unenforceability of any one or more provisions of this Resolution shall not affect the validity or enforceability of the remaining portions of this Resolution, or any part thereof.

SECTION 7. EFFECTIVE DATE. This Resolution shall take effect upon the passage and adoption of this Resolution by the Board.

PASSED AND ADOPTED THIS 12TH DAY OF JULY 2023.

ATTEST:

**EDEN HILLS COMMUNITY
DEVELOPMENT DISTRICT**

Secretary / Assistant Secretary

By: _____

Its: _____

Exhibit A: Budget
Exhibit B: Assessment Roll (Uniform Method)
Assessment Roll (Direct Collect)

Eden Hills
Community Development District

Proposed Budget
FY2024



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Eden Hills
Community Development District
Proposed Budget
General Fund

Description	Adopted Budget FY2023	Actuals Thru 5/31/23	Projected Next 4 Months	Projected Thru 9/30/23	Proposed Budget FY2024
Revenues					
Assessments - Tax Roll	\$ 159,000	\$ 106,160	\$ 52,840	\$ 159,000	\$ 615,519
Assessments - Direct Bill	\$ 300,000	\$ 52,500	\$ 20,250	\$ 72,750	\$ 93,212
Assessments - Lot Closing	\$ -	\$ 227,250	\$ -	\$ 227,250	\$ -
Developer Contributions	\$ 101,192	\$ 20,000	\$ -	\$ 20,000	\$ -
Total Revenues	\$ 560,193	\$ 405,910	\$ 73,091	\$ 479,000	\$ 708,732
Expenditures					
<i>Administrative</i>					
Supervisor Fees	\$ 12,000	\$ 2,200	\$ 4,000	\$ 6,200	\$ 12,000
Engineering	\$ 20,000	\$ 1,333	\$ 4,668	\$ 6,000	\$ 18,000
Attorney	\$ 30,000	\$ 9,197	\$ 7,000	\$ 16,197	\$ 30,000
Annual Audit	\$ 7,250	\$ -	\$ 2,975	\$ 2,975	\$ 5,000
Assessment Administration	\$ 5,000	\$ 5,000	\$ -	\$ 5,000	\$ 6,500
Arbitrage	\$ 1,350	\$ -	\$ 900	\$ 900	\$ 1,350
Dissemination	\$ 7,000	\$ 4,000	\$ 2,000	\$ 6,000	\$ 7,000
Trustee Fees	\$ 10,650	\$ 6,444	\$ 2,020	\$ 8,464	\$ 10,650
Management Fees	\$ 37,853	\$ 25,235	\$ 12,618	\$ 37,853	\$ 39,745
Information Technology	\$ 1,800	\$ 1,200	\$ 600	\$ 1,800	\$ 1,800
Website Technology	\$ 1,200	\$ 800	\$ 400	\$ 1,200	\$ 1,200
Postage & Delivery	\$ 850	\$ 248	\$ 283	\$ 531	\$ 893
Insurance	\$ 6,250	\$ 5,563	\$ -	\$ 5,563	\$ 6,119
Copies	\$ 1,000	\$ 9	\$ 333	\$ 342	\$ 1,050
Legal Advertising	\$ 10,000	\$ 1,063	\$ 5,522	\$ 6,585	\$ 7,500
Other Current Charges	\$ 2,800	\$ 262	\$ 152	\$ 414	\$ 1,200
Office Supplies	\$ 500	\$ 8	\$ 167	\$ 174	\$ 500
Dues, Licenses & Subscriptions	\$ 175	\$ 175	\$ -	\$ 175	\$ 175
Total Administrative	\$ 155,678	\$ 62,736	\$ 43,638	\$ 106,374	\$ 150,682
<i>Operations & Maintenance</i>					
Field Expenditures					
Property Insurance	\$ 14,400	\$ 7,153	\$ -	\$ 7,153	\$ 14,000
Field Management	\$ 15,000	\$ 5,000	\$ 5,000	\$ 10,000	\$ 15,750
Landscape Maintenance	\$ 70,000	\$ 20,139	\$ 7,648	\$ 27,787	\$ 155,000
Landscape Replacement	\$ 7,500	\$ -	\$ 2,500	\$ 2,500	\$ 25,000
Lake Maintenance	\$ -	\$ -	\$ -	\$ -	\$ 8,500
Streetlights	\$ 84,000	\$ 13,060	\$ 24,880	\$ 37,940	\$ 70,000
Electric	\$ 6,000	\$ 2,614	\$ 2,000	\$ 4,614	\$ 6,000
Sidewalk & Asphalt Maintenance	\$ 2,000	\$ -	\$ 667	\$ 667	\$ 2,500
Irrigation Repairs	\$ 5,000	\$ 2,190	\$ 1,667	\$ 3,856	\$ 7,500
General Repairs & Maintenance	\$ 7,500	\$ 10,314	\$ 2,500	\$ 12,814	\$ 15,000
Contingency	\$ 7,500	\$ 9,785	\$ 2,500	\$ 12,285	\$ 7,500
Subtotal Field Expenditures	\$ 218,900	\$ 70,255	\$ 49,361	\$ 119,616	\$ 326,750

Eden Hills
Community Development District
Proposed Budget
General Fund

Description	Adopted Budget FY2023	Actuals Thru 5/31/23	Projected Next 4 Months	Projected Thru 9/30/23	Proposed Budget FY2024
Amenity Expenditures					
Amenity - Electric	\$ 9,600	\$ 3,023	\$ 9,776	\$ 12,799	\$ 13,000
Amenity - Water	\$ 2,333	\$ 110	\$ 1,200	\$ 1,310	\$ 3,600
Playground & Equipment Lease	\$ 31,400	\$ 34,035	\$ 17,018	\$ 51,052	\$ 62,800
Internet	\$ 2,000	\$ 261	\$ 1,040	\$ 1,301	\$ 2,000
Pest Control	\$ 480	\$ -	\$ -	\$ -	\$ 600
Janitorial Service	\$ 4,333	\$ -	\$ -	\$ -	\$ 14,000
Security Services	\$ 25,000	\$ 13,200	\$ -	\$ 13,200	\$ 33,000
Amenity Access Management	\$ 3,333	\$ 417	\$ 1,667	\$ 2,083	\$ 6,000
Pool Maintenance	\$ 12,000	\$ 2,480	\$ 10,000	\$ 12,480	\$ 36,000
Amenity Repairs & Maintenance	\$ 5,000	\$ -	\$ 1,000	\$ 1,000	\$ 15,000
Contingency	\$ 10,000	\$ -	\$ -	\$ -	\$ 7,500
Subtotal Amenity Expenditures	\$ 105,480	\$ 53,526	\$ 41,700	\$ 95,226	\$ 193,500
<u>Total Operations & Maintenance</u>	\$ 324,380	\$ 123,780	\$ 91,062	\$ 214,842	\$ 520,250
<u>Other Expenditures</u>					
Capital Reserves - Transfer	\$ 80,135	\$ -	\$ 80,135	\$ 80,135	\$ 37,800
<u>Total Other Expenditures</u>	\$ 80,135	\$ -	\$ 80,135	\$ 80,135	\$ 37,800
Total Expenditures	\$ 560,193	\$ 186,517	\$ 214,834	\$ 401,351	\$ 708,732
Excess Revenues/(Expenditures)	\$ (0)	\$ 219,393	\$ (141,744)	\$ 77,649	\$ -

Net Assessments	\$708,732
Add: Discounts & Collections 7%	\$53,345
Gross Assessments	\$762,077

Product	ERU's	Assessable Units	ERU/Unit	Net Assessment	Net Per Unit	Gross Per Unit
Platted Future Phases	611.00	611	1.00	\$615,519.33	\$1,007.40	\$1,083.22
Unplatted Future Phases	92.53	498	0.19	\$93,212.29	\$187.17	\$201.26
	703.53	1109		\$708,731.63		

Product	FY2024	FY2023	Increase/ (Decrease)
Platted	\$1,083.22	\$806.45	\$276.77
Unplatted	\$201.26	\$0.00	\$201.26

Eden Hills

Community Development District

General Fund Budget

Revenues:

Assessments

The District will levy a non-ad valorem assessment on all the assessable property within the District in order to pay for operating expenditures during the fiscal year.

Developer Contributions

The District will enter into a Funding Agreement with the Developer to fund General Fund expenditures not covered by Assessments during the fiscal year.

Expenditures:

General & Administrative:

Supervisor Fees

Chapter 190, Florida Statutes, allows for each Board member to receive \$200 per meeting, not to exceed \$4,800 per year paid to each Supervisor for the time devoted to District business and meetings.

Engineering

The District's engineer, Dewberry Engineer's Inc., provides general engineering services to the District, e.g. attendance and preparation for monthly board meetings, review invoices and various projects as directed by the Board of Supervisors and the District Manager.

Attorney

The District's legal counsel, KE Law Group, PLLC., provides general legal services to the District, e.g. attendance and preparation for meetings, preparation and review of agreements, resolutions, etc. as directed by the Board of Supervisors and the District Manager.

Annual Audit

The District is required by Florida Statutes to arrange for an independent audit of its financial records on an annual basis. The district is currently contracted with Berger, Toombs, Elam, Gaines & Frank for this service.

Assessment Administration

The District is contracted with Governmental Management Services – Central Florida, LLC to levy and administer the collection of non-ad valorem assessment on all assessable property within the District.

Arbitrage

The District will contract with an independent certified public accountant to annually calculate the District's Arbitrage Rebate Liability on its Series 2020 and 2022 bonds. This line item also includes costs for another anticipated bond series.

Eden Hills
Community Development District
General Fund Budget

Dissemination

The District is required by the Security and Exchange Commission to comply with Rule 15c2-12(b)(5) which relates to additional reporting requirements for unrated bond issues. This cost is based upon the Series 2020 and 2022 bonds, as well as another anticipated bond series. Governmental Management Services – Central Florida, LLC completes these reporting requirements.

Trustee Fees

The District incurs trustee related costs payable to USBank for its' issued bonds.

Management Fees

The District receives Management, Accounting and Administrative services as part of a Management Agreement with Governmental Management Services - Central Florida, LLC. The services include but are not limited to, recording and transcription of board meetings, administrative services, budget preparation, all financial reports, annual audits, etc.

Information Technology

Represents costs related to the District's information systems, which include but are not limited to video conferencing services, cloud storage services and servers, security, accounting software, etc. Governmental Management Services – Central Florida, LLC provides these systems.

Website Maintenance

Represents the costs associated with monitoring and maintaining the District's website created in accordance with Chapter 189, Florida Statutes. These services include site performance assessments, security and firewall maintenance, updates, document uploads, hosting and domain renewals, website backups, etc. Governmental Management Services – Central Florida, LLC provides these services.

Postage & Delivery

The District incurs charges for mailing of Board meeting agenda packages, overnight deliveries, correspondence, etc.

Insurance

The District's general liability and public official's liability insurance coverage is provided by the Florida Insurance Alliance (FIA). FIA specializes in providing insurance coverage to governmental agencies.

Copies

Copies agenda packages for board meetings, printing of computerized checks, stationary, envelopes, etc.

Legal Advertising

The District is required to advertise various notices for monthly Board meetings, public hearings, etc. in a newspaper of general circulation.

Other Current Charges

Bank charges and any other miscellaneous expenses incurred during the year.

Eden Hills

Community Development District

General Fund Budget

Office Supplies

Any supplies that may need to be purchased during the fiscal year, e.g., paper, minute books, file folders, labels, paper clips, etc.

Dues, Licenses & Subscriptions

The District is required to pay an annual fee to the Florida Department of Economic Opportunity for \$175. This is the only expense under this category for the District.

Operations & Maintenance:

Field Expenditures

Property Insurance

The District's property insurance coverage is provided by Florida Insurance Alliance (FIA). FIA specializes in providing insurance coverage to governmental agencies.

Field Management

Governmental Management Services – Central Florida, LLC provides onsite field management of contracts for the District such as landscape and lake maintenance. Services include onsite inspections, meetings with contractors, monitoring of utility accounts, attend Board meetings and receive and respond to property owner phone calls and emails.

Landscape Maintenance

Represents the estimated maintenance of the landscaping within the common areas of the District after the installation of landscape material has been completed. The District has contracted with Floralawn for these services.

Landscape Replacement

Represents the estimated cost of replacing landscaping within the common areas of the District.

Lake Maintenance

Represents estimated costs for the maintenance of any ponds and lakes located within the District.

Streetlights

Represents the cost to maintain street lights within the District Boundaries that are expected to be in place throughout the fiscal year.

Electric

Represents current and estimated electric charges of common areas throughout the District.

Eden Hills

Community Development District

General Fund Budget

Water & Sewer

Represents current and estimated costs for water and refuse services provided for common areas throughout the District.

Sidewalk & Asphalt Maintenance

Represents the estimated costs of maintaining the sidewalks and asphalt throughout the District's Boundary.

Irrigation Repairs

Represents the cost of maintaining and repairing the irrigation system. This includes the sprinklers, and irrigation wells.

General Repairs & Maintenance

Represents estimated costs for general repairs and maintenance of the District's common areas.

Contingency

Represents funds allocated to expenses that the District could incur throughout the fiscal year that do not fit into any field category.

Amenity Expenditures

Amenity - Electric

Represents estimated electric charges for the District's amenity facilities.

Amenity - Water

Represents estimated water charges for the District's amenity facilities.

Playground Equipment Lease

The District will enter into a leasing agreement for playgrounds equipment installed in the community.

Internet

Internet service will be added for use at the Amenity Center.

Pest Control

The District will incur costs for pest control treatments to its amenity facilities.

Janitorial Services

Represents estimated costs to provide janitorial services and supplies for the District's amenity facilities.

Eden Hills
Community Development District
General Fund Budget

Security Services

Represents the estimated cost of contracting a monthly security service for the District's amenity facilities as well as maintaining security systems in place.

Amenity Access Management

Represents the cost of managing access to the District's amenity facilities.

Pool Maintenance

Represents estimated costs of regular cleaning and treatments of the District's pool.

Amenity Repairs & Maintenance

Represents estimated costs for repairs and maintenance of the District's amenity facilities.

Contingency

Represents funds allocated to expenses that the District could incur throughout the fiscal year that do not fit into any amenity category.

Other Expenditures:

Capital Reserves - Transfer

Funds collected and reserved for the replacement of and/or purchase of new capital improvements throughout the District.

Eden Hills
Community Development District
Proposed Budget
Series 2020 Debt Service Fund

Description	Adopted Budget FY2023	Actual Thru 5/31/23	Projected Next 4 Months	Projected Thru 9/30/23	Proposed Budget FY2024
Revenues					
Assessments - Tax Roll	\$ 172,075	\$ 171,625	\$ 450	\$ 172,075	\$ 172,075
Interest Income	\$ -	\$ 4,035	\$ 2,017	\$ 6,052	\$ -
Carry Forward Surplus	\$ 60,727	\$ 64,934	\$ -	\$ 64,934	\$ 75,049
Total Revenues	\$ 232,802	\$ 240,594	\$ 2,468	\$ 243,061	\$ 247,124
Expenses					
Interest - 11/1	\$ 56,506	\$ 56,506	\$ -	\$ 56,506	\$ 55,750
Principal - 5/1	\$ 55,000	\$ 55,000	\$ -	\$ 55,000	\$ 60,000
Interest - 5/1	\$ 56,506	\$ 56,506	\$ -	\$ 56,506	\$ 55,750
Total Expenditures	\$ 168,013	\$ 168,013	\$ -	\$ 168,013	\$ 171,500
Excess Revenues/(Expenditures)	\$ 64,789	\$ 72,581	\$ 2,468	\$ 75,049	\$ 75,624

Interest Expense 11/1/24	\$ 54,925
Total	\$ 54,925

Product	Assessable Units	Maximum Annual Debt Service	Net Assessment Per Unit	Gross Assessment Per Unit
Single Family	142	\$ 172,075	\$ 1,212	\$ 1,303
	142	\$ 172,075		

Eden Hills
Community Development District
Series 2020 Special Assessment Bonds
Amortization Schedule

DATE	BALANCE	PRINCIPAL	INTEREST	TOTAL
11/01/23	\$ 2,840,000.00	\$ -	\$ 55,750.00	\$ 167,256.25
05/01/24	\$ 2,840,000.00	\$ 60,000.00	\$ 55,750.00	\$ -
11/01/24	\$ 2,780,000.00	\$ -	\$ 54,925.00	\$ 170,675.00
05/01/25	\$ 2,780,000.00	\$ 60,000.00	\$ 54,925.00	\$ -
11/01/25	\$ 2,720,000.00	\$ -	\$ 54,100.00	\$ 169,025.00
05/01/26	\$ 2,720,000.00	\$ 60,000.00	\$ 54,100.00	\$ -
11/01/26	\$ 2,660,000.00	\$ -	\$ 53,125.00	\$ 167,225.00
05/01/27	\$ 2,660,000.00	\$ 65,000.00	\$ 53,125.00	\$ -
11/01/27	\$ 2,595,000.00	\$ -	\$ 52,068.75	\$ 170,193.75
05/01/28	\$ 2,595,000.00	\$ 65,000.00	\$ 52,068.75	\$ -
11/01/28	\$ 2,530,000.00	\$ -	\$ 51,012.50	\$ 168,081.25
05/01/29	\$ 2,530,000.00	\$ 70,000.00	\$ 51,012.50	\$ -
11/01/29	\$ 2,460,000.00	\$ -	\$ 49,875.00	\$ 170,887.50
05/01/30	\$ 2,460,000.00	\$ 70,000.00	\$ 49,875.00	\$ -
11/01/30	\$ 2,390,000.00	\$ -	\$ 48,737.50	\$ 168,612.50
05/01/31	\$ 2,390,000.00	\$ 75,000.00	\$ 48,737.50	\$ -
11/01/31	\$ 2,315,000.00	\$ -	\$ 47,237.50	\$ 170,975.00
05/01/32	\$ 2,315,000.00	\$ 75,000.00	\$ 47,237.50	\$ -
11/01/32	\$ 2,240,000.00	\$ -	\$ 45,737.50	\$ 167,975.00
05/01/33	\$ 2,240,000.00	\$ 80,000.00	\$ 45,737.50	\$ -
11/01/33	\$ 2,160,000.00	\$ -	\$ 44,137.50	\$ 169,875.00
05/01/34	\$ 2,160,000.00	\$ 85,000.00	\$ 44,137.50	\$ -
11/01/34	\$ 2,075,000.00	\$ -	\$ 42,437.50	\$ 171,575.00
05/01/35	\$ 2,075,000.00	\$ 85,000.00	\$ 42,437.50	\$ -
11/01/35	\$ 1,990,000.00	\$ -	\$ 40,737.50	\$ 168,175.00
05/01/36	\$ 1,990,000.00	\$ 90,000.00	\$ 40,737.50	\$ -
11/01/36	\$ 1,900,000.00	\$ -	\$ 38,937.50	\$ 169,675.00
05/01/37	\$ 1,900,000.00	\$ 95,000.00	\$ 38,937.50	\$ -
11/01/37	\$ 1,805,000.00	\$ -	\$ 37,037.50	\$ 170,975.00
05/01/38	\$ 1,805,000.00	\$ 100,000.00	\$ 37,037.50	\$ -
11/01/38	\$ 1,705,000.00	\$ -	\$ 35,037.50	\$ 172,075.00
05/01/39	\$ 1,705,000.00	\$ 100,000.00	\$ 35,037.50	\$ -
11/01/39	\$ 1,605,000.00	\$ -	\$ 33,037.50	\$ 168,075.00
05/01/40	\$ 1,605,000.00	\$ 105,000.00	\$ 33,037.50	\$ -
11/01/40	\$ 1,500,000.00	\$ -	\$ 30,937.50	\$ 168,975.00
05/01/41	\$ 1,500,000.00	\$ 110,000.00	\$ 30,937.50	\$ -
11/01/41	\$ 1,390,000.00	\$ -	\$ 28,668.75	\$ 169,606.25
05/01/42	\$ 1,390,000.00	\$ 115,000.00	\$ 28,668.75	\$ -
11/01/42	\$ 1,275,000.00	\$ -	\$ 26,296.88	\$ 169,965.63
05/01/43	\$ 1,275,000.00	\$ 120,000.00	\$ 26,296.88	\$ -
11/01/43	\$ 1,155,000.00	\$ -	\$ 23,821.88	\$ 170,118.75
05/01/44	\$ 1,155,000.00	\$ 125,000.00	\$ 23,821.88	\$ -
11/01/44	\$ 1,030,000.00	\$ -	\$ 21,243.75	\$ 170,065.63

Eden Hills
Community Development District
Series 2020 Special Assessment Bonds
Amortization Schedule

DATE		BALANCE	PRINCIPAL		INTEREST		TOTAL
05/01/45	\$	1,030,000.00	\$	130,000.00	\$	21,243.75	\$ -
11/01/45	\$	900,000.00	\$	-	\$	18,562.50	\$ 169,806.25
05/01/46	\$	900,000.00	\$	135,000.00	\$	18,562.50	\$ -
11/01/46	\$	765,000.00	\$	-	\$	15,778.13	\$ 169,340.63
05/01/47	\$	765,000.00	\$	140,000.00	\$	15,778.13	\$ -
11/01/47	\$	625,000.00	\$	-	\$	12,890.63	\$ 168,668.75
05/01/48	\$	625,000.00	\$	145,000.00	\$	12,890.63	\$ -
11/01/48	\$	480,000.00	\$	-	\$	9,900.00	\$ 167,790.63
05/01/49	\$	480,000.00	\$	155,000.00	\$	9,900.00	\$ -
11/01/49	\$	325,000.00	\$	-	\$	6,703.13	\$ 171,603.13
05/01/50	\$	325,000.00	\$	160,000.00	\$	6,703.13	\$ -
11/01/50	\$	165,000.00	\$	-	\$	3,403.13	\$ 170,106.25
05/01/51	\$	165,000.00	\$	165,000.00	\$	3,403.13	\$ 168,403.13
				\$ 2,895,000.00	\$ 2,077,287.50	\$	5,084,550.00

Eden Hills
Community Development District
Proposed Budget
Series 2022 Debt Service Fund

Description	Adopted Budget FY2023	Actual Thru 5/31/23	Projected Next 4 Months	Projected Thru 9/30/23	Proposed Budget FY2024
Revenues					
Assessments	\$ 604,294	\$ 444,325	\$ 159,969	\$ 604,294	\$ 604,294
Interest Income	\$ -	\$ 19,647	\$ 9,824	\$ 29,471	\$ -
Carry Forward Surplus	\$ 263,525	\$ 273,571	\$ -	\$ 273,571	\$ 242,587
Total Revenues	\$ 867,819	\$ 737,543	\$ 169,793	\$ 907,336	\$ 846,881
Expenses					
Interest - 11/1	\$ 263,518	\$ 263,518	\$ -	\$ 263,518	\$ 203,063
Principal - 5/1	\$ 195,000	\$ 195,000	\$ -	\$ 195,000	\$ 200,000
Interest - 5/1	\$ 206,231	\$ 206,231	\$ -	\$ 206,231	\$ 203,063
Total Expenditures	\$ 664,749	\$ 664,749	\$ -	\$ 664,749	\$ 606,125
Total Other Financing Sources (Uses)	\$ -	\$ -	\$ -	\$ -	\$ -
Excess Revenues/(Expenditures)	\$ 203,070	\$ 72,794	\$ 169,793	\$ 242,587	\$ 240,756

Interest Expense 11/1/24	\$ 199,813
Total	\$ 199,813

Product	Assessable Units	Maximum Annual Debt Service	Net Assessment Per Unit	Gross Assessment Per Unit
Single Family - Phase 2A-1	233	\$ 315,712	\$ 1,355	\$ 1,457
Single Family - Phase 2A-2	167	\$ 201,506	\$ 1,207	\$ 1,297
Single Family - Phase 2B	69	\$ 87,076	\$ 1,262	\$ 1,357
	469	\$ 604,294		

Eden Hills
Community Development District
Series 2022 Special Assessment Bonds
Amortization Schedule

DATE		BALANCE		PRINCIPAL		INTEREST		TOTAL
11/01/23	\$	10,270,000.00	\$	-	\$	203,062.50	\$	604,293.75
05/01/24	\$	10,270,000.00	\$	200,000.00	\$	203,062.50	\$	-
11/01/24	\$	10,070,000.00	\$	-	\$	199,812.50	\$	602,875.00
05/01/25	\$	10,070,000.00	\$	205,000.00	\$	199,812.50	\$	-
11/01/25	\$	9,435,000.00	\$	-	\$	196,481.25	\$	601,293.75
05/01/26	\$	9,435,000.00	\$	210,000.00	\$	196,481.25	\$	-
11/01/26	\$	9,435,000.00	\$	-	\$	193,068.75	\$	599,550.00
05/01/27	\$	9,435,000.00	\$	220,000.00	\$	193,068.75	\$	-
11/01/27	\$	9,435,000.00	\$	-	\$	189,493.75	\$	602,562.50
05/01/28	\$	9,435,000.00	\$	225,000.00	\$	189,493.75	\$	-
11/01/28	\$	9,210,000.00	\$	-	\$	185,415.63	\$	599,909.38
05/01/29	\$	9,210,000.00	\$	235,000.00	\$	185,415.63	\$	-
11/01/29	\$	8,975,000.00	\$	-	\$	181,156.25	\$	601,571.88
05/01/30	\$	8,975,000.00	\$	245,000.00	\$	181,156.25	\$	-
11/01/30	\$	8,215,000.00	\$	-	\$	176,715.63	\$	602,871.88
05/01/31	\$	8,215,000.00	\$	255,000.00	\$	176,715.63	\$	-
11/01/31	\$	8,215,000.00	\$	-	\$	172,093.75	\$	603,809.38
05/01/32	\$	8,215,000.00	\$	260,000.00	\$	172,093.75	\$	-
11/01/32	\$	8,215,000.00	\$	-	\$	167,381.25	\$	599,475.00
05/01/33	\$	8,215,000.00	\$	275,000.00	\$	167,381.25	\$	-
11/01/33	\$	7,940,000.00	\$	-	\$	161,881.25	\$	604,262.50
05/01/34	\$	7,940,000.00	\$	285,000.00	\$	161,881.25	\$	-
11/01/34	\$	7,655,000.00	\$	-	\$	156,181.25	\$	603,062.50
05/01/35	\$	7,655,000.00	\$	295,000.00	\$	156,181.25	\$	-
11/01/35	\$	7,360,000.00	\$	-	\$	150,281.25	\$	601,462.50
05/01/36	\$	7,360,000.00	\$	305,000.00	\$	150,281.25	\$	-
11/01/36	\$	7,055,000.00	\$	-	\$	144,181.25	\$	599,462.50
05/01/37	\$	7,055,000.00	\$	320,000.00	\$	144,181.25	\$	-
11/01/37	\$	6,735,000.00	\$	-	\$	137,781.25	\$	601,962.50
05/01/38	\$	6,735,000.00	\$	335,000.00	\$	137,781.25	\$	-
11/01/38	\$	6,400,000.00	\$	-	\$	131,081.25	\$	603,862.50
05/01/39	\$	6,400,000.00	\$	345,000.00	\$	131,081.25	\$	-
11/01/39	\$	6,055,000.00	\$	-	\$	124,181.25	\$	600,262.50
05/01/40	\$	6,055,000.00	\$	360,000.00	\$	124,181.25	\$	-
11/01/40	\$	4,930,000.00	\$	-	\$	116,981.25	\$	601,162.50
05/01/41	\$	4,930,000.00	\$	375,000.00	\$	116,981.25	\$	-
11/01/41	\$	4,930,000.00	\$	-	\$	109,481.25	\$	601,462.50
05/01/42	\$	4,930,000.00	\$	390,000.00	\$	109,481.25	\$	-
11/01/42	\$	4,930,000.00	\$	-	\$	101,681.25	\$	601,162.50
05/01/43	\$	4,930,000.00	\$	405,000.00	\$	101,681.25	\$	-
11/01/43	\$	4,525,000.00	\$	-	\$	93,328.13	\$	600,009.38
05/01/44	\$	4,525,000.00	\$	425,000.00	\$	93,328.13	\$	-
11/01/44	\$	4,100,000.00	\$	-	\$	84,562.50	\$	602,890.63

Eden Hills
Community Development District
Series 2022 Special Assessment Bonds
Amortization Schedule

DATE		BALANCE		PRINCIPAL		INTEREST		TOTAL	
05/01/45	\$	4,100,000.00	\$	440,000.00	\$	84,562.50	\$	-	
11/01/45	\$	3,660,000.00	\$	-	\$	75,487.50	\$	600,050.00	
05/01/46	\$	3,660,000.00	\$	460,000.00	\$	75,487.50	\$	-	
11/01/46	\$	3,200,000.00	\$	-	\$	66,000.00	\$	601,487.50	
05/01/47	\$	3,200,000.00	\$	480,000.00	\$	66,000.00	\$	-	
11/01/47	\$	2,720,000.00	\$	-	\$	56,100.00	\$	602,100.00	
05/01/48	\$	2,720,000.00	\$	500,000.00	\$	56,100.00	\$	-	
11/01/48	\$	2,220,000.00	\$	-	\$	45,787.50	\$	601,887.50	
05/01/49	\$	2,220,000.00	\$	520,000.00	\$	45,787.50	\$	-	
11/01/49	\$	1,700,000.00	\$	-	\$	35,062.50	\$	600,850.00	
05/01/50	\$	1,700,000.00	\$	545,000.00	\$	35,062.50	\$	-	
11/01/50	\$	1,155,000.00	\$	-	\$	23,821.88	\$	603,884.38	
05/01/51	\$	1,155,000.00	\$	565,000.00	\$	23,821.88	\$	-	
11/01/51	\$	590,000.00	\$	-	\$	12,168.75	\$	600,990.63	
05/01/52	\$	590,000.00	\$	590,000.00	\$	12,168.75	\$	602,168.75	
				\$	10,465,000.00	\$	7,851,173.96	\$	18,316,173.96

Eden Hills
Community Development District
Proposed Budget
Capital Reserve Fund

Description	Adopted Budget FY2023	Actual Thru 5/31/23	Projected Next 4 Months	Projected Thru 9/30/23	Proposed Budget FY2024
<u>Revenues</u>					
Carry Forward Surplus	\$ -	\$ -	\$ -	\$ -	\$ 80,135
Total Revenues	\$ -	\$ -	\$ -	\$ -	\$ 80,135
<u>Expenses</u>					
Capital Outlay	\$ -	\$ -	\$ -	\$ -	\$ 25,000
Total Expenditures	\$ -	\$ -	\$ -	\$ -	\$ 25,000
<u>Other Financing Sources</u>					
Transfer In/(Out)	\$ 80,135	\$ -	\$ 80,135	\$ 80,135	\$ 37,800
Total Other Financing Sources (Uses)	\$ 80,135	\$ -	\$ 80,135	\$ 80,135	\$ 37,800
Excess Revenues/(Expenditures)	\$ 80,135	\$ -	\$ 80,135	\$ 80,135	\$ 92,935

**Eden Hills CDD
FY 24 Assessment Roll**[illegible]

[illegible]

[illegible]

[illegible]

[illegible]

[illegible]

[illegible]

PARCEL ID	Units	O&M	Series 2020	Series 2022	Total
262719489375003760	1.00	\$1,083.22	\$0.00	\$1,451.61	\$2,534.83
262719489375003770	1.00	\$1,083.22	\$0.00	\$1,451.61	\$2,534.83
262719489375003780	1.00	\$1,083.22	\$0.00	\$1,303.76	\$2,386.98
262719489375003790	1.00	\$1,083.22	\$0.00	\$1,303.76	\$2,386.98
262719489375003800	1.00	\$1,083.22	\$0.00	\$1,303.76	\$2,386.98
262719489375003810	1.00	\$1,083.22	\$0.00	\$1,303.76	\$2,386.98
262719489375003820	1.00	\$1,083.22	\$0.00	\$1,303.76	\$2,386.98
262719489375003830	1.00	\$1,083.22	\$0.00	\$1,303.76	\$2,386.98
262719489375003840	1.00	\$1,083.22	\$0.00	\$1,303.76	\$2,386.98
262719489375003850	1.00	\$1,083.22	\$0.00	\$1,303.76	\$2,386.98
262719489375003860	1.00	\$1,083.22	\$0.00	\$1,303.76	\$2,386.98
262719489375003870	1.00	\$1,083.22	\$0.00	\$1,303.76	\$2,386.98
262719489375003880	1.00	\$1,083.22	\$0.00	\$1,303.76	\$2,386.98
262719489375003890	1.00	\$1,083.22	\$0.00	\$1,303.76	\$2,386.98
262719489375003900	1.00	\$1,083.22	\$0.00	\$1,303.76	\$2,386.98
262719489375003910	1.00	\$1,083.22	\$0.00	\$1,303.76	\$2,386.98
262719489375003920	1.00	\$1,083.22	\$0.00	\$1,303.76	\$2,386.98
262719489375003930	1.00	\$1,083.22	\$0.00	\$1,303.76	\$2,386.98
262719489375003940	1.00	\$1,083.22	\$0.00	\$1,303.76	\$2,386.98
262719489375003950	1.00	\$1,083.22	\$0.00	\$1,303.76	\$2,386.98
262719489375003960	1.00	\$1,083.22	\$0.00	\$1,303.76	\$2,386.98
262719489375003970	1.00	\$1,083.22	\$0.00	\$1,303.76	\$2,386.98
262719489375003980	1.00	\$1,083.22	\$0.00	\$1,303.76	\$2,386.98
262719489375003990	1.00	\$1,083.22	\$0.00	\$1,303.76	\$2,386.98
262719489375004000	1.00	\$1,083.22	\$0.00	\$1,303.76	\$2,386.98
262719489375004010					\$0.00
262719489375004020					\$0.00
262719489375004030					\$0.00
262719489375004040					\$0.00
262719489375004050					\$0.00
262719489375004060					\$0.00
262719489375004070					\$0.00
262719489375004080					\$0.00
262719489375004090					\$0.00
262719489375004100					\$0.00
262719489375004110					\$0.00
262719489375004120					\$0.00
262720000000032010					\$0.00
262720000000032040					\$0.00
262720000000042010					\$0.00
262720000000042030					\$0.00
262720000000044010					\$0.00
262729000000033010					\$0.00
262729496504000010	1.00	\$1,083.22	\$0.00	\$1,344.09	\$2,427.31
262729496504000020	1.00	\$1,083.22	\$0.00	\$1,344.09	\$2,427.31
262729496504000030	1.00	\$1,083.22	\$0.00	\$1,344.09	\$2,427.31
262729496504000040	1.00	\$1,083.22	\$0.00	\$1,344.09	\$2,427.31
262729496504000050	1.00	\$1,083.22	\$0.00	\$1,344.09	\$2,427.31
262729496504000060	1.00	\$1,083.22	\$0.00	\$1,344.09	\$2,427.31
262729496504000070	1.00	\$1,083.22	\$0.00	\$1,344.09	\$2,427.31
262729496504000080	1.00	\$1,083.22	\$0.00	\$1,344.09	\$2,427.31
262729496504000090	1.00	\$1,083.22	\$0.00	\$1,344.09	\$2,427.31
262729496504000100	1.00	\$1,083.22	\$0.00	\$1,344.09	\$2,427.31
262729496504000110	1.00	\$1,083.22	\$0.00	\$1,344.09	\$2,427.31

[illegible]

[illegible]

[illegible]

PARCEL ID	Units	O&M	Series 2020	Series 2022	Total
262730496752000990	1.00	\$1,083.22	\$1,303.76	\$0.00	\$2,386.98
262730496752001000	1.00	\$1,083.22	\$1,303.76	\$0.00	\$2,386.98
262730496752001010	1.00	\$1,083.22	\$1,303.76	\$0.00	\$2,386.98
262730496752001020	1.00	\$1,083.22	\$1,303.76	\$0.00	\$2,386.98
262730496752001030	1.00	\$1,083.22	\$1,303.76	\$0.00	\$2,386.98
262730496752001040	1.00	\$1,083.22	\$1,303.76	\$0.00	\$2,386.98
262730496752001050	1.00	\$1,083.22	\$1,303.76	\$0.00	\$2,386.98
262730496752001060	1.00	\$1,083.22	\$1,303.76	\$0.00	\$2,386.98
262730496752001070	1.00	\$1,083.22	\$1,303.76	\$0.00	\$2,386.98
262730496752001080	1.00	\$1,083.22	\$1,303.76	\$0.00	\$2,386.98
262730496752001090	1.00	\$1,083.22	\$1,303.76	\$0.00	\$2,386.98
262730496752001100	1.00	\$1,083.22	\$1,303.76	\$0.00	\$2,386.98
262730496752001110	1.00	\$1,083.22	\$1,303.76	\$0.00	\$2,386.98
262730496752001120	1.00	\$1,083.22	\$1,303.76	\$0.00	\$2,386.98
262730496752001130	1.00	\$1,083.22	\$1,303.76	\$0.00	\$2,386.98
262730496752001140	1.00	\$1,083.22	\$1,303.76	\$0.00	\$2,386.98
262730496752001150	1.00	\$1,083.22	\$1,303.76	\$0.00	\$2,386.98
262730496752001160	1.00	\$1,083.22	\$1,303.76	\$0.00	\$2,386.98
262730496752001170	1.00	\$1,083.22	\$1,303.76	\$0.00	\$2,386.98
262730496752001180	1.00	\$1,083.22	\$1,303.76	\$0.00	\$2,386.98
262730496752001190	1.00	\$1,083.22	\$1,303.76	\$0.00	\$2,386.98
262730496752001200	1.00	\$1,083.22	\$1,303.76	\$0.00	\$2,386.98
262730496752001210	1.00	\$1,083.22	\$1,303.76	\$0.00	\$2,386.98
262730496752001220	1.00	\$1,083.22	\$1,303.76	\$0.00	\$2,386.98
262730496752001230	1.00	\$1,083.22	\$1,303.76	\$0.00	\$2,386.98
262730496752001240	1.00	\$1,083.22	\$1,303.76	\$0.00	\$2,386.98
262730496752001250	1.00	\$1,083.22	\$1,303.76	\$0.00	\$2,386.98
262730496752001260	1.00	\$1,083.22	\$1,303.76	\$0.00	\$2,386.98
262730496752001270	1.00	\$1,083.22	\$1,303.76	\$0.00	\$2,386.98
262730496752001280	1.00	\$1,083.22	\$1,303.76	\$0.00	\$2,386.98
262730496752001290	1.00	\$1,083.22	\$1,303.76	\$0.00	\$2,386.98
262730496752001300	1.00	\$1,083.22	\$1,303.76	\$0.00	\$2,386.98
262730496752001310	1.00	\$1,083.22	\$1,303.76	\$0.00	\$2,386.98
262730496752001320	1.00	\$1,083.22	\$1,303.76	\$0.00	\$2,386.98
262730496752001330	1.00	\$1,083.22	\$1,303.76	\$0.00	\$2,386.98
262730496752001340	1.00	\$1,083.22	\$1,303.76	\$0.00	\$2,386.98
262730496752001350	1.00	\$1,083.22	\$1,303.76	\$0.00	\$2,386.98
262730496752001360	1.00	\$1,083.22	\$1,303.76	\$0.00	\$2,386.98
262730496752001370	1.00	\$1,083.22	\$1,303.76	\$0.00	\$2,386.98
262730496752001380	1.00	\$1,083.22	\$1,303.76	\$0.00	\$2,386.98
262730496752001390	1.00	\$1,083.22	\$1,303.76	\$0.00	\$2,386.98
262730496752001400	1.00	\$1,083.22	\$1,303.76	\$0.00	\$2,386.98
262730496752001410	1.00	\$1,083.22	\$1,303.76	\$0.00	\$2,386.98
262730496752001420	1.00	\$1,083.22	\$1,303.76	\$0.00	\$2,386.98
262730496752001430					
262730496752001440					
262730496752001450					
Total Gross Onroll	611.00	\$661,847.42	\$185,133.92	\$648,695.26	\$1,495,676.60
Total Net Onroll		\$615,518.10	\$172,174.55	\$603,286.59	\$1,390,979.24

Direct Billing

262720000000032010	\$24,332.39	\$0.00	\$0.00	\$24,332.39
262720000000032040	\$40,670.06	\$0.00	\$0.00	\$40,670.06

PARCEL ID	Units	O&M	Series 2020	Series 2022	Total
262720000000042010		\$26,312.99	\$0.00	\$0.00	\$26,312.99
262720000000042030		\$6,292.23	\$0.00	\$0.00	\$6,292.23
262720000000044010		\$2,619.81	\$0.00	\$0.00	\$2,619.81
Total Gross Direct		\$100,227.48	\$0.00	\$0.00	\$100,227.48
Total Net Direct		\$93,211.56	\$0.00	\$0.00	\$93,211.56
Total Gross Assessments		\$762,074.90	\$185,133.92	\$648,695.26	\$1,595,904.08
Total Net Assessments		\$708,729.66	\$172,174.55	\$603,286.59	\$1,484,190.79

SECTION V

RESOLUTION 2023-08

A RESOLUTION OF THE BOARD OF SUPERVISORS OF THE EDEN HILLS COMMUNITY DEVELOPMENT DISTRICT ADOPTING THE ANNUAL MEETING SCHEDULE FOR FISCAL YEAR 2024; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Eden Hills Community Development District (the “District”) is a local unit of special-purpose government created and existing pursuant to Chapter 190, *Florida Statutes*, being situated entirely within the City of Lake Alfred, Polk County, Florida; and

WHEREAS, the District is required by Section 189.015, *Florida Statutes*, to file quarterly, semi-annually, or annually a schedule (including date, time, and location) of its regular meetings with local governing authorities; and

WHEREAS, further, in accordance with the above-referenced statute, the District shall also publish quarterly, semi-annually, or annually the District’s regular meeting schedule in a newspaper of general paid circulation in the county in which the District is located; and

WHEREAS, the Board desires to adopt the Fiscal Year 2023/2024 annual meeting schedule attached as **Exhibit A**.

NOW THEREFORE BE IT RESOLVED BY THE BOARD OF SUPERVISORS OF THE EDEN HILLS COMMUNITY DEVELOPMENT DISTRICT:

SECTION 1. The Fiscal Year 2023/2024 annual meeting schedule attached hereto and incorporated by reference herein as **Exhibit A** is hereby approved and shall be published in accordance with the requirements of Florida law and also provided to applicable governing authorities.

SECTION 2. This Resolution shall become effective immediately upon its adoption.

PASSED AND ADOPTED this 12th day of July 2023.

ATTEST:

**EDEN HILLS COMMUNITY
DEVELOPMENT DISTRICT**

Secretary / Assistant Secretary

Chairperson, Board of Supervisors

Exhibit A: Fiscal Year 2023/2024 Annual Meeting Schedule

Exhibit A: Fiscal Year 2023/2024 Annual Meeting Schedule

BOARD OF SUPERVISORS MEETING DATES EDEN HILLS COMMUNITY DEVELOPMENT DISTRICT FISCAL YEAR 2023/2024

The Board of Supervisors of the Eden Hills Community Development District will hold their regular meetings for Fiscal Year 2023/2024 at the Lake Alfred Public Library, 245 North Seminole Avenue, Lake Alfred, Florida 33850, on the 2nd Wednesday of every month from 5:00 PM to 6:00 PM unless otherwise indicated as follows:

**October 11, 2023
November 8, 2023
December 13, 2023
January 10, 2024
February 14, 2024
March 13, 2024
April 10, 2024
May 8, 2024
June 12, 2024
July 10, 2024
August 14, 2024
September 11, 2024**

The meetings are open to the public and will be conducted in accordance with the provision of Florida Law for Community Development Districts. The meetings may be continued to a date, time, and place to be specified on the record at the meeting. A copy of the agenda for these meetings may be obtained from Governmental Management Services - Central Florida, LLC, 219 E. Livingston Street, Orlando, Florida 32801 or by calling (407) 841-5524.

There may be occasions when one or more Supervisors or staff will participate by telephone. Pursuant to provisions of the Americans with Disabilities Act, any person requiring special accommodations at this meeting because of a disability or physical impairment should contact the District Office at (407) 841-5524 at least 48 hours prior to the meeting. If you are hearing or speech impaired, please contact the Florida Relay Service by dialing 7-1-1, or 1-800-955-8771 (TTY) / 1-800-955-8770 (Voice), for aid in contacting the District Office.

A person who decides to appeal any decision made at the meeting with respect to any matter considered at the meeting is advised that person will need a record of the proceedings and that accordingly, the person may need to ensure that a verbatim record of the proceedings is made, including the testimony and evidence upon which such appeal is to be based.

District Manager

SECTION VI

RESOLUTION 2023-09

A RESOLUTION OF THE BOARD OF SUPERVISORS OF THE EDEN HILLS COMMUNITY DEVELOPMENT DISTRICT DESIGNATING A DATE, TIME AND LOCATION FOR A LANDOWNERS' MEETING AND ELECTION; PROVIDING FOR PUBLICATION; ESTABLISHING FORMS FOR THE LANDOWNER ELECTION; AND PROVIDING FOR SEVERABILITY AND AN EFFECTIVE DATE.

WHEREAS, Eden Hills Community Development District ("**District**") is a local unit of special-purpose government created and existing pursuant to Chapter 190, *Florida Statutes*, being situated entirely within the City of Lake Alfred, Polk County, Florida; and

WHEREAS, pursuant to Section 190.006(1), *Florida Statutes*, the District's Board of Supervisors ("**Board**") "shall exercise the powers granted to the district pursuant to [Chapter 190, *Florida Statutes*]," and the Board shall consist of five members; and

WHEREAS, the District is statutorily required to hold a meeting of the landowners of the District for the purpose of electing Board Supervisors for the District on a date in November established by the Board, which shall be noticed pursuant to Section 190.006(2), *Florida Statutes*.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF SUPERVISORS OF EDEN HILLS COMMUNITY DEVELOPMENT DISTRICT:

1. **EXISTING BOARD SUPERVISORS; SEATS SUBJECT TO ELECTIONS.** The Board is currently made up of the following individuals:

<u>Seat Number</u>	<u>Supervisor</u>	<u>Term Expiration Date</u>
1	Jessica Kowalski	11/2025
2	Jessica Petrucci	11/2023
3	Bobbie Henley	11/2023
4	Emily Cassidy	11/2023
5	Eric Lavoie	11/2025

This year, Seat 2, currently held by Jessica Petrucci, Seat 3, currently held by Bobbie Henley, and Seat 4, currently held by Emily Cassidy, are subject to election by landowners in November 2023. The two candidates receiving the highest number of votes shall be elected for a term of four (4) years. The candidate receiving the next highest number of votes shall be elected for a term of two (2) years. The term of office for each successful candidate shall commence upon election.

2. **LANDOWNER'S ELECTION.** In accordance with Section 190.006(2), *Florida Statutes*, the meeting of the landowners to elect Board Supervisor(s) of the District shall be held on the _____ day of November, 2023, at _____ p.m., and located at the Lake Alfred Public Library, 245 North Seminole Avenue Lake Alfred, FL 33850.

3. **PUBLICATION.** The District's Secretary is hereby directed to publish notice of the landowners' meeting and election in accordance with the requirements of Section 190.006(2), *Florida Statutes*.

4. **FORMS.** Pursuant to Section 190.006(2)(b), *Florida Statutes*, the landowners' meeting and election have been announced by the Board at its **July 12, 2023** meeting. A sample notice of

landowners' meeting and election, proxy, ballot form and instructions were presented at such meeting and are attached hereto as **Exhibit A**. Such documents are available for review and copying during normal business hours at the office of the District Manager, Governmental Management Services – Central Florida LLC, located at 219 East Livingston Street, Orlando, Florida 32801.

5. **SEVERABILITY.** The invalidity or unenforceability of any one or more provisions of this Resolution shall not affect the validity or enforceability of the remaining portions of this Resolution, or any part thereof.

6. **EFFECTIVE DATE.** This Resolution shall become effective upon its passage.

PASSED AND ADOPTED THIS 12TH DAY OF JULY 2023.

**EDEN HILLS COMMUNITY
DEVELOPMENT DISTRICT**

ATTEST:

CHAIRPERSON / VICE CHAIRPERSON

SECRETARY / ASST. SECRETARY

EXHIBIT A

NOTICE OF LANDOWNERS' MEETING AND ELECTION AND MEETING OF THE BOARD OF SUPERVISORS OF THE EDEN HILLS COMMUNITY DEVELOPMENT DISTRICT

Notice is hereby given to the public and all landowners within Eden Hills Community Development District ("**District**") the location of which is generally described as comprising a parcel or parcels of land containing approximately 396.65 acres, generally located is north and south of Cass Road, and west of CR 557, within Lake Alfred, Florida, advising that a meeting of landowners will be held for the purpose of electing three (3) people to the District's Board of Supervisors ("**Board**", and individually, "**Supervisor**"). Immediately following the landowners' meeting there will be convened a meeting of the Board for the purpose of considering certain matters of the Board to include election of certain District officers, and other such business which may properly come before the Board.

DATE: November __, 2023
HOUR: _____ p.m.
LOCATION: Lake Alfred Public Library
245 North Seminole Avenue
Lake Alfred, FL 33850

Each landowner may vote in person or by written proxy. Proxy forms may be obtained upon request at the office of the District Manager, Governmental Management Services – Central Florida LLC, 219 East Livingston Street, Orlando, Florida 32801 Ph: (407) 841-5524 ("**District Manager's Office**"). At said meeting each landowner or his or her proxy shall be entitled to nominate persons for the position of Supervisor and cast one vote per acre of land, or fractional portion thereof, owned by him or her and located within the District for each person to be elected to the position of Supervisor. A fraction of an acre shall be treated as one acre, entitling the landowner to one vote with respect thereto. Platted lots shall be counted individually and rounded up to the nearest whole acre. The acreage of platted lots shall not be aggregated for determining the number of voting units held by a landowner or a landowner's proxy. At the landowners' meeting the landowners shall select a person to serve as the meeting chair and who shall conduct the meeting.

The landowners' meeting and the Board meeting are open to the public and will be conducted in accordance with the provisions of Florida law. One or both of the meetings may be continued to a date, time, and place to be specified on the record at such meeting. A copy of the agenda for these meetings may be obtained from the District Manager's Office. There may be an occasion where one or more supervisors will participate by telephone.

Any person requiring special accommodations to participate in these meetings is asked to contact the District Manager's Office, at least 48 hours before the hearing. If you are hearing or speech impaired, please contact the Florida Relay Service by dialing 7-1-1, or 1-800-955-8771 (TTY) / 1-800-955-8770 (Voice), for aid in contacting the District Manager's Office.

A person who decides to appeal any decision made by the Board with respect to any matter considered at the meeting is advised that such person will need a record of the proceedings and that accordingly, the person may need to ensure that a verbatim record of the proceedings is made, including the testimony and evidence upon which the appeal is to be based.

District Manager
Run Date(s): _____ & _____

PUBLISH: ONCE A WEEK FOR 2 CONSECUTIVE WEEKS, THE LAST DAY OF PUBLICATION TO BE NOT FEWER THAN 14 DAYS OR MORE THAN 28 DAYS BEFORE THE DATE OF ELECTION, IN A NEWSPAPER WHICH IS IN GENERAL CIRCULATION IN THE AREA OF THE DISTRICT

**INSTRUCTIONS RELATING TO LANDOWNERS' MEETING OF
EDEN HILLS COMMUNITY DEVELOPMENT DISTRICT
FOR THE ELECTION OF SUPERVISORS**

DATE OF LANDOWNERS' MEETING: _____, November __, 2023

TIME: _____ P.M.

LOCATION:

Pursuant to Chapter 190, *Florida Statutes*, and after a Community Development District ("**District**") has been established and the landowners have held their initial election, there shall be a subsequent landowners' meeting for the purpose of electing members of the Board of Supervisors ("**Board**") every two years until the District qualifies to have its board members elected by the qualified electors of the District. The following instructions on how all landowners may participate in the election are intended to comply with Section 190.006(2)(b), *Florida Statutes*.

A landowner may vote in person at the landowners' meeting, or the landowner may nominate a proxy holder to vote at the meeting in place of the landowner. Whether in person or by proxy, each landowner shall be entitled to cast one vote per acre of land owned by him or her and located within the District, for each position on the Board that is open for election for the upcoming term. A fraction of an acre shall be treated as one (1) acre, entitling the landowner to one vote with respect thereto. For purposes of determining voting interests, platted lots shall be counted individually and rounded up to the nearest whole acre. Moreover, please note that a particular parcel of real property is entitled to only one vote for each eligible acre of land or fraction thereof; therefore, two or more people who own real property in common, that is one acre or less, are together entitled to only one vote for that real property.

At the landowners' meeting, the first step is to elect a chair for the meeting, who may be any person present at the meeting. The landowners shall also elect a secretary for the meeting who may be any person present at the meeting. The secretary shall be responsible for the minutes of the meeting. The chair shall conduct the nominations and the voting. If the chair is a landowner or proxy holder of a landowner, he or she may nominate candidates and make second motions. Candidates must be nominated and then shall be elected by a vote of the landowners. Nominees may be elected only to a position on the Board that is open for election for the upcoming term.

This year, three (3) seats on the Board will be up for election by landowners. The two candidates receiving the highest number of votes shall be elected for a term of four (4) years. The candidate receiving the next highest number of votes shall be elected for a term of two (2) years. The term of office for each successful candidate shall commence upon election.

A proxy is available upon request. To be valid, each proxy must be signed by one of the legal owners of the property for which the vote is cast and must contain the typed or printed name of the individual who signed the proxy; the street address, legal description of the property or tax parcel identification number; and the number of authorized votes. If the proxy authorizes more than one vote, each property must be listed and the number of acres of each property must be included. The signature on a proxy does not need to be notarized.

LANDOWNER PROXY

**EDEN HILLS COMMUNITY DEVELOPMENT DISTRICT
POLK COUNTY, FLORIDA
LANDOWNERS' MEETING – [NOVEMBER __, 2023]**

KNOW ALL MEN BY THESE PRESENTS, that the undersigned, the fee simple owner of the lands described herein, hereby constitutes and appoints _____ (“**Proxy Holder**”) for and on behalf of the undersigned, to vote as proxy at the meeting of the landowners of the Eden Hills Community Development District to be held at the **Lake Alfred Public Library, 245 North Seminole Avenue Lake Alfred, FL 33850**, on **November __, 2023**, at _____ **p.m.**, and at any adjournments thereof, according to the number of acres of unplatted land and/or platted lots owned by the undersigned landowner that the undersigned would be entitled to vote if then personally present, upon any question, proposition, or resolution or any other matter or thing that may be considered at said meeting including, but not limited to, the election of members of the Board of Supervisors. Said Proxy Holder may vote in accordance with his or her discretion on all matters not known or determined at the time of solicitation of this proxy, which may legally be considered at said meeting.

Any proxy heretofore given by the undersigned for said meeting is hereby revoked. This proxy is to continue in full force and effect from the date hereof until the conclusion of the landowners’ meeting and any adjournment or adjournments thereof, but may be revoked at any time by written notice of such revocation presented at the landowners’ meeting prior to the Proxy Holder’s exercising the voting rights conferred herein.

Printed Name of Legal Owner

Signature of Legal Owner

Date

Parcel Description

Acreage

Authorized Votes

[Insert above the street address of each parcel, the legal description of each parcel, or the tax identification number of each parcel. If more space is needed, identification of parcels owned may be incorporated by reference to an attachment hereto.]

Total Number of Authorized Votes:

NOTES: Pursuant to Section 190.006(2)(b), *Florida Statutes* (2022), a fraction of an acre is treated as one (1) acre entitling the landowner to one vote with respect thereto. For purposes of determining voting interests, platted lots shall be counted individually and rounded up to the nearest whole acre. Moreover, two (2) or more persons who own real property in common that is one acre or less are together entitled to only one vote for that real property.

If the fee simple landowner is not an individual, and is instead a corporation, limited liability company, limited partnership or other entity, evidence that the individual signing on behalf of the entity has the authority to do so should be attached hereto (e.g., bylaws, corporate resolution, etc.).

OFFICIAL BALLOT
EDEN HILLS COMMUNITY DEVELOPMENT DISTRICT
POLK COUNTY, FLORIDA
LANDOWNERS' MEETING - NOVEMBER __, 2023

For Election (3 Supervisors): The two (2) candidates receiving the highest number of votes will each receive a four (4) year term, and the one (1) candidate receiving the next highest number of votes will receive a two (2) year term, with the term of office for the successful candidates commencing upon election.

The undersigned certifies that he/she/it is the fee simple owner of land, or the proxy holder for the fee simple owner of land, located within the Eden Hills Community Development District and described as follows:

Description

Acreage

_____	_____
_____	_____
_____	_____

[Insert above the street address of each parcel, the legal description of each parcel, or the tax identification number of each parcel.] [If more space is needed, identification of parcels owned may be incorporated by reference to an attachment hereto.]

or

Attach Proxy.

I, _____, as Landowner, or as the proxy holder of _____ (Landowner) pursuant to the Landowner's Proxy attached hereto, do cast my votes as follows:

SEAT #	NAME OF CANDIDATE	NUMBER OF VOTES
3		
4		
5		

Date: _____

Signed: _____

Printed Name: _____

SECTION VII

RESOLUTION 2023-10

**A RESOLUTION OF THE BOARD OF SUPERVISORS OF EDEN HILLS
COMMUNITY DEVELOPMENT DISTRICT APPOINTING AN
ASSISTANT TREASURER OF THE DISTRICT AND PROVIDING FOR
AN EFFECTIVE DATE**

WHEREAS, Eden Hills Community Development District (hereinafter the “District”) is a local unit of special-purpose government created and existing pursuant to Chapter 190, *Florida Statutes*, being situated entirely within the City of Lake Alfred, Polk County, Florida; and

WHEREAS, the Board of Supervisors of the District desires to appoint an Assistant Treasurer.

**NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF
SUPERVISORS OF EDEN HILLS COMMUNITY DEVELOPMENT
DISTRICT:**

SECTION 1. Darrin Mossing, Sr. is appointed as an Assistant Treasurer.

SECTION 2. This Resolution shall become effective immediately upon its adoption.

PASSED AND ADOPTED this 12th day of July 2023.

ATTEST:

**EDEN HILLS COMMUNITY
DEVELOPMENT DISTRICT**

Secretary / Assistant Secretary

Chairperson, Board of Supervisors

SECTION VIII

PREPARED BY AND RETURN TO:

Seth Benton Claytor
Boswell & Dunlap, LLP
245 South Central Avenue
Bartow, FL 33830

DEVELOPER'S AGREEMENT

THE DEVELOPER'S AGREEMENT ("Agreement"), made this ____ day of _____, 2023, by and between **SILVERLAKE COMMUNITY DEVELOPMENT DISTRICT**, a unit of special purpose government created and existing pursuant to Chapter 190 of the Florida Statutes, (hereafter referred to as the "Developer"), and the **CITY OF LAKE ALFRED**, a municipal corporation organized and existing under the laws of the State of Florida ("City"), on behalf of themselves, their permitted assigns and successors, in exchange for the covenants and consideration(s) set forth below, acknowledge and agree:

§1. **Factual Recitals.** This Agreement is intended to acknowledge and memorialize the voluntary and mutually agreed upon conditions, consideration, provisions, requirements and terms set forth in this Agreement; and the material facts supporting and forming the basis for the parties entry into this Agreement are, as follows:

(a) City is a Florida municipal corporation vested with home rule authority pursuant to the Municipal Home Rule Powers Act, Chapter 166 of the Florida Statutes, and Article VIII, §2 of the Florida Constitution; and

(b) City is vested with governmental, corporate and proprietary powers to enable municipal governments to conduct and perform municipal functions and render municipal services, including the exercise of any power for municipal purposes; and

(c) Developer is a local unit of special-purpose government created and existing pursuant to Chapter 190, Florida Statutes, authorized to own and maintain certain public infrastructure; and

(d) On September 8, 2022, the City of Lake Alfred City Commission, at a duly noticed public meeting, adopted Resolution 14-22 (the "Resolution") approving the plat entitled "Eden Hills Phase 2" (the "Plat") and identifying the dedication(s) to the City of Lake Alfred (collectively referred to as the "City Dedications") which are more specifically provided for therein; and

(e) the Resolution is recorded in Official Records Book 12432, Pages 2054-2092, in the public records of Polk County, Florida; and

(f) City and Developer acknowledge and agree that the Plat, which is recorded in Plat Book 194, Pages 24-41, in the public records of Polk County, Florida, expressly provided for the City Dedications which included, but were not limited to, easements, roads, streets, and rights-of-way, amongst others, which are located within the *Eden Hills Phase 2 Subdivision* (the “Subdivision”) for the benefit and use of the general public; and

(g) copies of the Resolution and Plat are attached hereto as **Composite Exhibit “A”** and made a part hereof by reference; and

(h) City and Developer acknowledge, represent, and agree that the Developer is vicariously liable for the design and construction of the Eden Hills Community Monument Signage (the “Signage”) as more specifically provided for by the construction documents entitled “Eden Hills Phase II Community Signage” (the “Construction Documents”); and

(i) City and Developer acknowledge, represent, and agree that the Developer will maintain the Signage and perform any good husbandry of and/or for all landscaping located on and/or within the publicly dedicated rights-of-way and/or City Dedications (collectively referred to as the “Improvements”) as more specifically provided for by the Plans for the Improvement of Eden Hills Phase 2 Subdivision (the “Construction Plans”); and

(j) copies of the Construction Plans and Construction Documents are attached hereto as **Composite Exhibit “B”** and made a part hereof by reference; and

(k) City and Developer acknowledge and agree that the Signage will be located on or within the publicly dedicated rights-of-way of the Subdivision (see **Composite Exhibit “B”**); and

(l) City and Developer acknowledge and agree that landscaping improvements will be located on or within the publicly dedicated rights-of-way which are located within and over the City Dedications (see attached **Composite Exhibit “A”**); and

(m) City and Developer acknowledge, represent, and agree that the Plat (see **Composite Exhibit “A”**), which identifies and provides a public means of ingress and egress to the Subdivision, and the Improvements (see attached **Composite Exhibit “A”** and **Composite Exhibit “B”**), together with other plats, property, and improvements related to the Eden Hills Development (collectively referred to as the “Development”); and

(n) Developer and City acknowledge and agree that the Subdivision is located within the corporate limits of the City of Lake Alfred, Florida; and

(o) pursuant to Section 9.6.8 of the City of Lake Alfred Unified Land Development Code, a developer’s agreement may be entered into between the City and Developer in order to set forth specific terms and/or requirements for the Subdivision; and

(p) on July 10, 2023, the City of Lake Alfred City Commission, at a duly noticed public meeting, required, as a condition precedent to its entering into this Agreement, that the Developer and its successors and permitted assigns indemnify and hold harmless the City, its

elected and appointed officials, employees and agents from any and all damages, claims, and/or other liabilities arising out of the Sign and/or Improvements which includes, but is not to be limited to, the design, construction, and maintenance of the Improvements which are located on, within, over, under and/or across publicly dedicated rights-of-way and/or the City Dedications, without waiving any sovereign immunity or limitation of liability available under Section 768.28, Florida Statutes, or other law (see attached **Composite Exhibit “A”** and **Composite Exhibit “B”**); and

(q) Developer and its successors and assigns agree to indemnify and hold the City, its elected and appointed officials, employees and agents harmless of and from any and all costs, expenses, damages, liability and claims (including reasonable attorneys’ fees and costs) related to and/or arising out of the design, construction, and maintenance related to the Signage and/or Improvements located on, within, over, under and/or across the publicly dedicated rights-of-way and/or City Dedications (see attached **Composite Exhibit “A”** and **Composite Exhibit “B”**), without waiving any sovereign immunity or limitation of liability available under Section 768.28, Florida Statutes, or other law; and

(r) Developer acknowledges and agrees that any provision(s) set forth in this Agreement holding the City, its elected and appointed officials, employees and agents harmless is intended to be as broad and inclusive as is permitted by the laws of the State of Florida but without waiving or modifying any sovereign immunity or limitation of liability to which the Developer is entitled pursuant to Section 768.28, Florida Statutes, or other statute or law; and

(s) Developer acknowledges, represents, and agrees that the City’s willingness to enter into this Agreement shall not be construed by the Developer and/or its successors and assigns as a waiver by the City of applicable law; and

(t) Developer acknowledges, represents, and agrees that this Agreement is intended to and shall constitute a covenant running with the Property; and

(u) the parties agree that this Agreement shall be liberally construed in favor of the City; and

(v) City and Developer acknowledge and agree that those portions of the Subdivision which are owned and maintained by the Developer shall comply with all applicable land development regulations in effect on the effective date of this Agreement unless otherwise provided herein; and

(w) Developer acknowledge and agree that nothing contained in this Agreement shall be deemed, construed and/or applied to cause the City to waive its right to exercise its governmental power in any manner other than that which is customary for the exercise of such governmental powers; and

(x) City and Developer acknowledge and agree that, as a material condition of this Agreement, a fully executed duplicate original of this Agreement must be recorded in the Public Records of Polk County, Florida; and

(y) the parties acknowledge, represent and agree that the City and Developer are not partners and/or joint venturers; and

(z) City and Developer represent and agree that good and valuable consideration has been received by the parties for entering into this Agreement, and the City and Developer acknowledge the sufficiency of the consideration received; and

(aa) the City Commission of the City of Lake Alfred finds that this Agreement between the City and Developer to be in the best interests of the public health, safety, and general welfare of the citizens and residents of the City of Lake Alfred; and

(bb) this Agreement is entered into pursuant to the general and Municipal Home Rule powers of the City and is therefore not a Development Agreement pursuant to Chapter 163 of the Florida Statutes.

§2.0 **Incorporation of Recitals.** The foregoing recitals are incorporated herein by the parties as true and correct statements which form the factual and material basis for entry into this Agreement between the City and Developer.

§3.0 **Purpose; Developer Release, Indemnification, Hold Harmless.**

§3.1 The purpose of this Agreement is to establish certain respective rights and obligations of the City, Developer, and any successors-in-interest to the City and Developer concerning the design, construction, and maintenance of the Eden Hills Phase II Community Signage (see **Composite Exhibit “B”**) and any landscaping improvements located on, within, over, under and/or across the publicly dedicated rights-of-way and/or City Dedications (see attached **Composite Exhibit “A”** and **Composite Exhibit “B”**) installed, constructed and/or maintained by the Developer (as defined by §4.4 of this Agreement).

§3.2 In consideration of the mutual covenants set forth herein, Developer releases, acquits and forever discharges the City, its elected and appointed officials, employees, and agents of and from any and all known or unknown claims, causes of action, suits, debts, dues, sums of money, damages, judgments, and demands whatsoever, in law or in equity, which Developer ever had, now has or hereinafter can, shall or may have against the City, its elected and appointed officials, employees, and agents by reason of any matter, cause or thing, from the beginning of the world until the date on which this Agreement is terminated and/or expires, which are specifically arising out of the Development (as defined by §4.11 of this Agreement). This Release includes, but is not limited to, any case, lien, suit and/or cause of action, including reasonable attorney’s fees both trial and appellate, and all other claims Developer ever had, now has or hereinafter can, shall or may have against the City, its elected and appointed officials, employees, and agents whether arising out of tort, contract, equity, constitution, statute, or other theory of recovery, and whether for compensatory, punitive damages, or for equitable relief which Developer now has, or which may hereafter accrue or otherwise be acquired on account of or in any way growing out of, or which is the subject of the provisions set forth by this Agreement and specifically arising out of the Development (as defined by §4.11 of this Agreement), except to the extent caused by the City’s gross negligence or willful misconduct.

§3.3 Developer and/or any successor-in-interest to the Developer shall defend, indemnify, and hold the City, its elected and appointed officials, employees, and agents harmless from any and all manner of action and actions, cause and causes of action, lawsuits, trespasses, damages, judgments, executions, claims, liabilities (including but not limited to costs and reasonable attorneys' fees incurred by the City in any administrative, trial court, appellate court and bankruptcy proceedings) and demands of any kind whatsoever, in law or equity, to the extent resulting from or arising out of the negligence or willful misconduct (other than liabilities caused by the sole acts, negligence or willful misconduct of the City) of Developer and its agents and specifically related to the Development (as defined by §4.11 of this Agreement) and for any injuries, damages, liability or causes of action that may result from the Development (as defined by §4.11 of this Agreement) and/or other necessary maintenance or repairs arising out of the Development (as defined by §4.11 of this Agreement) and caused by the negligence or willful misconduct of Developer and its agents, but without waiving any sovereign immunity or limitation of liability available under Section 768.28, Florida Statutes, or other law.

§3.4 The provisions set forth in this Section shall be fully binding and survive the termination of this Agreement.

§4.0 **Definitions.** Term(s) used in this Agreement and/or any exhibits incorporated herein and made a part hereof shall possess the meanings, interpretations and/or definitions assigned herein, provided however, that where one (1) of the following listed terms is used in this Agreement, such term(s) shall possess the corresponding meaning, as follows:

§4.1 “*Applicable Law*” means the City of Lake Alfred Charter, City of Lake Alfred Code of Ordinances, City of Lake Alfred Unified Land Development Code, and any and all applicable statutes, laws, rules, regulations, charter provisions, ordinances and resolutions of the United States of America, State of Florida, Polk County, City of Lake Alfred, and any and all other public authority which may be applicable.

§4.2 “*City*” means the City of Lake Alfred, Florida.

§4.3 “*City Representative*” means the City Manager, or her/his designated appointee, who is authorized to act on behalf of the City in the administration of this Agreement. The City Representative does not have the authority to waive or modify any condition or term of this Agreement.

§4.4 “*Developer*” means **EDEN HILLS COMMUNITY DEVELOPMENT DISTRICT**, a unit of special purpose government organized and existing pursuant to Chapter 190 of the Florida Statutes, for the purposes of planning, financing, constructing, acquiring, operating and/or maintaining certain public infrastructure, and any and all of the successors-in-interest and/or permitted assigns of the **EDEN HILLS COMMUNITY DEVELOPMENT DISTRICT**. The parties acknowledge that the term “Developer,” as used herein, is not intended to imply that **EDEN HILLS COMMUNITY DEVELOPMENT DISTRICT** is serving as the developer of and/or for the Eden Hills Phase 2 Subdivision.

§4.5 “*Developer Representative*” any agent, employee and/or person with either apparent authority to act on behalf of Developer or the written authorization of Developer to act on its behalf in the administration of this Agreement. The Developer Representative does not have the authority to waive or modify any condition or term of this Agreement.

§4.6 “*City Code*” means the City of Lake Alfred Code of Ordinances and City of Lake Alfred Unified Land Development Code.

§4.7 “*Day(s)*” means calendar day unless specifically stated otherwise.

§4.8 “*Calendar Day(s)*” means any and all days in a 365-day calendar year.

§4.9 “*Business Day(s)*” means each calendar day which is not a Saturday, Sunday or a recognized holiday by the City of Lake Alfred, Florida.

§4.10 “*City Commission*” means the duly elected City of Lake Alfred City Commission and/or governing body of the City of Lake Alfred.

§4.11 “*Development*” means the design, construction, and maintenance of the improvements which include, but shall not be limited to, the Eden Hills Phase II Community Signage (see **Composite Exhibit “B”**) and good husbandry of any landscaping located on, within, over, under and/or across the publicly dedicated rights-of-way and/or dedications made to and accepted by the City (see **Composite Exhibit “A”**), together with all other activities, work and improvements reasonably related to same, performed by the Developer for the Eden Hills Phase 2 Subdivision which are the subject of this Agreement and related to and/or arising out of that certain plat entitled Eden Hills Phase 2.

§4.12 “*Effective Date*” means, for purposes of calculating time periods and the commencement of the term of this Agreement, the date on which this Agreement is approved by the City Commission at a duly noticed public meeting.

§4.13 “*Term*” means the duration of this Agreement which shall commence on the Effective Date and shall expire and/or terminate in accordance with the provisions set forth in §17 of this Agreement.

§5.0 **Further Assurances**. Each of the parties hereto agrees to do, execute, acknowledge, and deliver, or cause to be done, executed, acknowledged and delivered, all such further acts, and assurances as shall be reasonably requested by the other party in order to carry out the intent of this Agreement and give effect thereto. Without in any manner limiting the specific rights and obligations set forth in this Agreement, the parties hereby declare their intention to cooperate with each other in effecting the terms of this Agreement, and to coordinate the performance of their respective obligations under the terms of this Agreement. To the extent of any conflict with the terms and conditions set forth by this Agreement and other rules and/or regulations which may otherwise govern the Development, the terms and conditions of this Agreement shall prevail.

§6.0 Developer Obligations.

§6.1 Pursuant to the City Code and Applicable Law (as defined by §4.1 of this Agreement), any and all required development orders, development permits and/or development approvals for the Development (as defined by §4.11 of this Agreement) shall be obtained prior to installing and/or constructing the Improvements.

§6.2 Developer shall perform, at its discretion, any and all due diligence related to the Development (as defined by §4.11 of this Agreement) it desires at its sole cost and expense.

§6.3 City shall have no responsibility for any and all cost(s) and expense(s) associated with the Development (as defined by §4.11 of this Agreement) which may include, but shall not be limited to, the cost(s) and expense(s) for surveying, engineering, design, permitting, construction, piping, hardware, maintenance, and restoration.

§6.4 Developer shall be solely responsible for any and all maintenance and repair of the Development (as defined by §4.11 of this Agreement) in accordance with Applicable Law (as defined by §3.1 of this Agreement). As such, the City shall have no responsibility and/or liability whatsoever to restore, pay for the removal, and/or pay the maintenance or repair of the Development (as defined by §4.11 of this Agreement) unless the City affirmatively accepts such responsibility by a duly adopted Resolution of the City Commission.

§6.5 In the event of any expense or liability arising out of the Development (as defined by §4.11 of this Agreement) and related to the maintenance and repair of any utility line(s) and/or other public infrastructure, Developer shall pay for and/or assume same at its sole cost and expense, provided such expenses or liability arise out of the negligence or willful misconduct of the Developer.

§6.6 Developer may utilize its agents, employees and/or third parties to accomplish its obligations under this Agreement. However, Developer shall remain responsible for the proper performance under this Agreement and shall take all steps necessary to ensure that its agents, employees and/or third parties perform as required under this Agreement.

§6.7 Developer shall keep in force and effect, and/or cause its contractors, agents, or assigns to keep in force and effect, during the Term (as defined by §4.13 of this Agreement) of this Agreement public liability insurance, property damage insurance, worker's compensation insurance and other insurance coverages required by the City for contractors performing work within the public rights-of-way. All insurance policies shall be reviewed by the City Attorney and must be acceptable to the City. Any policy(ies) of insurance required herein shall apply to any covered loss on a primary basis; and, for purposes of public liability insurance and property damage insurance, the City shall be named as an additional insured.

§6.8 Developer shall not take any action which would subject any of the improvements constructed and/or located on, within, over, under and/or across the publicly dedicated rights-of-way and/or City Dedications (see attached **Composite Exhibit "A"** and **Composite Exhibit "B"**) to liens, encumbrances, or any other interests by third parties.

§6.9 Developer shall not construct a gated entrance and/or obstruct access to the general public to the Eden Hills Phase 2 Subdivision and/or Development (as defined in §4.11 of this Agreement).

§6.10 This Agreement shall be binding on Developer, its successors in interest, and permitted assigns.

§6.11 The maintenance obligations of the Developer under this §6 shall be fully binding and survive the termination of this Agreement.

§7 **City Obligations.** Pursuant to the City Code (as defined by §4.6 of this Agreement) and Applicable Law (as defined by §4.1 of this Agreement), the Development (as defined by §4.11 of this Agreement) shall be subject to development review by the City; and, in accordance with the development regulations set forth by the City Code and Applicable Law, upon the payment of the applicable and required fee(s) by or on behalf of the Developer, the City agrees to expeditiously review any and all requests for a development order and/or development/construction permit which includes, but shall not be limited to, the design and construction of the Eden Hills monument signage to be located within the publicly dedicated right-of-way.

§8.0 **Binding Effect.** Except as may be otherwise set forth herein, the terms and provisions of this Agreement shall bind and inure to the benefit of the parties and applicable successors, representatives, heirs, permitted assigns, employees, officers, directors, superintendents, administrators, shareholders and agents. As such, the parties agree that this Agreement shall be binding upon and inure to any and all successors-in-interest to the parties hereto. The parties further acknowledge and agree that, in the event this Agreement omits and/or does not detail all laws, rules, regulations, permits, conditions, terms and restrictions that must be satisfied to complete the Development (as defined by §4.11 of this Agreement), such omission shall not relieve the parties hereto or any successor-in-interest of the obligation to comply with Applicable Law (as defined by §4.1 of this Agreement).

§9.0 **Merger.** This Agreement constitutes the entire understanding of the parties. It supersedes any prior understandings, agreements, or obligations between them upon the subjects covered in this Agreement. There are no representations, promises, guarantees or warranties other than those set forth herein. This Agreement supersedes all prior agreements and development orders pertaining to the lands described herein.

§10.0 **Notices.** All notices, demands, requests, consents, approvals, and other communications (collectively referred to as the "Notice"), required or permitted to be given hereunder shall be in writing and sent by either: (i) registered or certified mail, postage prepaid, return receipt requested; or, (ii) special delivery service (e.g. Federal Express, DHL, UPS, etc.); addressed to the party to be so notified as follows:

For City:

City of Lake Alfred
Attn: Ryan Leavengood, City Manager
120 E. Pomelo Street
Lake Alfred, FL 33850

With a Copy to (*which shall **not** constitute notice*):

Frederick J. Murphy, Jr. City Attorney
City of Lake Alfred
Post Office Drawer 30
245 South Central Avenue
Bartow, Florida 33830
Telephone (863) 533-7117
Fax: (863) 533-7412

For Developer:

Governmental Management Services, LLC
219 E. Livingston St.
Orlando, Florida 32801

With a Copy to (*which shall **not** constitute notice*):

Kilinski |Van Wyk PLLC
PO Box 6386
Tallahassee, Florida 32314

Notice shall be effective upon delivery to the above addresses. Either party may notify the other that a new person has been designated by it to receive a notice(s), or that the address for the delivery of such notice(s) has been changed, provided that, until such time as the other party receives such notice in the manner provided for herein, any notice addressed to the previously-designated person and/or delivered to the previously-designated address or facsimile number shall be effective.

§11.0 **Applicable Law, Jurisdiction, and Venue**. This Agreement and the rights and obligations of the City and Developer shall be governed by Florida law. Venue for any litigation pertaining to or arising out of the subject matter hereof shall be exclusively in the state courts of Polk County, State of Florida, in the 10th Judicial Circuit.

§12.0 **No Effect on Code Violations; No Contract Zoning**. This Agreement shall not be interpreted to condone, authorize or permit any violation of the City Code or Applicable Law (as defined by §4.1 of this Agreement). Further, this Agreement shall not be construed as the City's authorization or acceptance of the status of the present existing structures or uses on the Property, nor shall it be construed as an attempt to contractually zone the Property.

§13.0 **Miscellaneous Provisions**.

§13.1 **Exhibits**. All exhibits annexed hereto are incorporated by reference and made a part of the Agreement.

§13.2 **Headings**. The heading(s) preceding the several section(s), paragraph(s) and article(s) hereof are solely for convenience of reference and shall not constitute a part of this Agreement, or affect its meaning, construction or effect.

§13.3 **Gender Neutral.** For purposes of this Agreement, any and all gender specific references, classifications and/or language shall be interpreted to be gender neutral.

§13.4 **Counterparts.** This Agreement may be executed in several counterparts, each constituting a duplicate original, but all such counterparts constitute one Agreement.

§13.5 **Calculation of Time.** The calculation of the number of days that have passed during any time period prescribed shall be based on Calendar Days (unless specified otherwise in this Agreement). Unless otherwise specified in this Agreement, the calculation of the number of days that have passed during any time period prescribed in or by this Agreement shall commence on the day immediately following the event triggering such time period. If the tolling of such a time period is not contingent upon an action or event, the calculation of the number of days that have passed during such time period prescribed in or by this Agreement shall commence on the day immediately following the Effective Date (as defined by §4.12 of this Agreement). For purposes of this Agreement, unless otherwise specified herein, the tolling of any such time period(s) shall be in Calendar Days. In the event any time period or deadline identified in this Agreement expires and/or falls on a Saturday, Sunday or recognized holiday, said expiration and/or deadline shall be automatically tolled until 5:00 pm on the next available Business Day which the City is open for business to the public.

§13.6 **Authorization.** The parties represent and warrant to one another that all the necessary action(s) to execute this Agreement have occurred and that the parties possess the legal authority to enter into this Agreement and undertake all the obligations imposed herein.

§13.7 **Representations and Warranties.** Each party signing this Agreement represents and warrants that he/she/it has read, understands and acknowledges any and all of the terms, covenants, conditions and requirements set forth herein.

§13.8 **Modification.** This Agreement shall not be modified in any way, unless such modification is in the form of a written amendment properly executed by both the City and Developer. No oral modifications will be effective or binding on either the City or Developer regardless of whether the person(s) attempting to make such modifications appeared to have the authority to make such modification. Moreover, in the event state or federal law(s) are enacted after the execution of this Agreement which are applicable to and preclude the parties' compliance with the terms of this Agreement, the parties agree to modify and/or amend this Agreement, to the extent necessary, in order for the parties to perform the obligations set forth herein.

§13.9 **Compliance with Applicable Law.** Developer shall comply with Applicable Law (as defined by §4.1 of this Agreement) in performing the obligations and requirements set forth by the Agreement.

§13.10 **Neutral Interpretation.** Any controversy over the construction of this Agreement shall be decided neutrally and without regard to events of authorship or negotiation.

§13.11 **Severability.** If any provision of this Agreement, or the application thereof to any person or circumstances, shall to any extent be held invalid or unenforceable by a court of

competent jurisdiction, then the parties agree that the remainder of this Agreement shall be valid and enforceable to the fullest extent permitted by law.

§13.12 **No Waiver**. Failure of the City to enforce any right hereunder shall not be deemed a waiver of such right. The inaction or failure of the City to address and/or remedy any breach of the covenants, conditions, and/or provisions of this Agreement shall not constitute a waiver of such City's rights hereunder with respect to such action, non-action, and/or default. No covenant, condition or provision of this Agreement can be waived, except with the written consent of both the City and Developer. Any such waiver, in one instance, shall not constitute a waiver of a subsequent default or for any other past, present or future default, unless the waiver expressly and specifically states and/or identifies such default.

§13.13 **Construction**. The parties acknowledge that the Agreement has been fairly negotiated by each party's respective legal counsel and at arm's length; and, as such, the Agreement shall be interpreted in strict accordance with the terms, covenants and conditions set forth herein.

§13.14 **Time is of the Essence**. Time is of the essence for all of the provisions, conditions, and terms of this Agreement.

§13.15 **Relationship**. Developer shall at all times be acting as an independent contractor. Developer shall perform all its duties, responsibilities, and obligations in strict accordance with this Agreement as an Independent Contractor and shall not be considered an agent of the City, nor shall any of the Developer's subcontractors, suppliers and/or employees be considered agents of the City. Developer shall be solely responsible to any and all subcontractors, suppliers and those employed by them for their costs, expenses, fees and profits, if any, in performing under this Agreement. The City shall have no responsibility or liability for furnishing worker's compensation benefits to any and all personnel hired and/or employed by the Developer, nor for any injuries arising from and/or connected with any and all work and/or services performed under this Agreement, and the City shall have no responsibility or liability for furnishing any and all other employee benefits to any and all personnel and/or employees hired by the Developer.

§13.16 **Successors and Assigns**. All covenants, agreements, warranties, representations, and conditions contained in this Agreement shall bind and inure to the benefit of the respective successors-in-interest and permitted assigns of the parties to this Agreement.

§14.0 **Public Records**. Developer covenants and agrees to:

§14.1 Keep and maintain public records required by the CITY to perform the service(s) related to the Project and Development.

§14.2 Upon request from the CITY's custodian of public records, provide the CITY with a copy of the requested records or allow the records to be inspected or copies within a reasonable time at a cost that does not exceed the cost provided in Chapter 119 of the Florida Statutes or as otherwise provided by law.

§14.3 Ensure that public records that are exempt or confidential and exempt from public records disclosure requirements are not disclosed except as authorized by law for the duration of the Agreement term and following completion of the Agreement if Developer does not transfer the records to the CITY.

§14.4 Upon completion of the Agreement, transfer, at no cost, to the CITY all public records in possession of Developer or keep and maintain public records required by the CITY to perform the service. If Developer transfers all public records to the CITY upon completion of the Agreement, Developer shall destroy any duplicate public records that are exempt or confidential and exempt from public records disclosure requirements. If Developer keeps and maintains public records upon completion of the Agreement, Developer shall meet all applicable requirements for retaining public records. All records stored electronically must be provided to the CITY, upon request from the CITY's custodian of public records, in a format that is compatible with the information technology systems of the CITY.

§14.5 If Developer does not comply with a public records request, CITY shall enforce the Agreement which may include immediate termination of Agreement.

§14.6 The provisions set forth in this Section shall be fully binding and survive the termination of this Agreement.

IF DEVELOPER HAS QUESTIONS REGARDING THE APPLICATION OF CHAPTER 119, FLORIDA STATUTES, TO THE DEVELOPER'S DUTY TO PROVIDE PUBLIC RECORDS RELATING TO THIS AGREEMENT, CONTACT THE CITY'S CUSTODIAN OF PUBLIC RECORDS, LINDA BOURGEOIS, AT 863-291-5270, EXT. 106, lbourgeois@mylakealfred.com, 155 EAST POMELO STREET, LAKE ALFRED, FLORIDA 33850.

§15.0 **Developer Default.** The Developer shall execute this Agreement and perform in strict accordance with the provisions set forth herein. Subject to Applicable Law (as defined by §4.1 of this Agreement), in the event Developer fails to perform in strict accordance with the terms, conditions and/or provisions of this Agreement, the City may, at its option, provide the Developer with written notice of the non-compliance and provide a commercially reasonable time period to cure same. Upon the expiration of any time period(s) provided for by this Section or, if determined by the City Representative, in his/her sole and absolute discretion, the Developer's failure to perform in strict accordance with the terms, conditions and/or provisions of this Agreement is detrimental to the health, safety, and/or general welfare of the residents and citizens of the City, the City may, without further notice, presentment, and/or inquiry, seek *ex-parte* relief in a court of competent jurisdiction in and for Polk County, Florida. Any *ex-parte* order shall also include an award of attorneys' fees and costs arising out of the enforcement of this Agreement.

§16.0 **Enforcement Costs.** If any legal action or other proceeding is brought for the enforcement of this Agreement, or because of an alleged dispute, breach, default or misrepresentation in connection with any provisions of this Agreement, the successful or prevailing party or parties shall be entitled to recover reasonable attorney's fees, court costs and all reasonable expenses even if not taxable as court costs (including, without limitation, all such

reasonable fees, costs and expenses incident to bankruptcy and/or appeals), incurred in that action or proceedings, in addition to any other relief to which such party or parties may be entitled.

§17.0 Remedies and Termination.

§17.1 No remedy herein conferred upon any party is intended to be exclusive of any other remedy, and each and every such remedy shall be cumulative and shall be in addition to every other remedy given hereunder or hereafter existing at law or in equity or by statute or otherwise. No single or partial exercise by any party or any right, power, or remedy hereunder shall preclude any other or further exercise thereof.

§17.2 This Agreement shall remain in effect until such time as the City and Developer desire to mutually terminate same. In the event the Development (as defined by §4.11 of this Agreement) and/or any improvements which are the subject of this Agreement are not in compliance with the conditions and technical requirements set forth by this Agreement and the City Code, the City may, at its option, provide the Developer with written notice of the non-compliance and provide a commercially reasonable time period to cure same. Upon the expiration of any time period(s) provided for by this Section or, if determined by the City Representative, in his/her sole and absolute discretion, an event of non-compliance is detrimental to the health, safety, and/or general welfare of the residents and citizens of the City, the City may immediately seek any remedy available at law or in equity and/or perform the necessary work and thereafter render an invoice for services to Developer for reimbursement.

§17.3 In order to enforce the term(s) of the Agreement or challenge compliance of the Agreement, any party or aggrieved or adversely affected person (as defined in Section 163.3215(2), Florida Statutes) may file an action for injunctive relief in the state courts of Polk County, State of Florida, in the 10th Judicial Circuit.

§18.0 **Appropriations.** Neither this Agreement nor the obligations imposed upon the City hereunder shall be or constitute an indebtedness or general obligation of the City or other Governmental Authority within the meaning of any constitutional, statutory or charter provisions requiring the City or other Governmental Authority to levy ad valorem taxes nor a lien upon any properties or funds of the City or other Governmental Authority. The Developer agrees that the obligation of the City to make any payments by the City to Developer pursuant to this Agreement shall be subordinate to the obligations of the City to pay debt service on any bonds issued by the City prior to the Effective Date and subject to the receipt of an annual appropriation of sufficient funds by the City in order to make any payments and/or reimbursements contemplated hereunder. Except as otherwise set forth herein, this Agreement shall not constitute an agreement to appropriate funds by the City in any fiscal year while this Agreement is in effect.

§19.0 **City's Police Powers.** Developer acknowledges, understands and agrees that the City is prohibited from engaging in "contract zoning" or bartering away its legislative prerogative, and as such while City will cooperate with Developer as set forth herein, this Agreement does not constitute an approval that would require the exercise of City's legislative and/or quasi-judicial authority. Provided further, nothing in this Agreement shall serve to affect or limit City's police

powers in the exercise of zoning decisions or other governmental action associated with the Development or any development order associated therewith.

§20.0 **No Waiver of Sovereign Immunity.** Nothing herein is intended to act as a waiver of the City's sovereign immunity and/or limits of liability as set forth in section 768.28, Florida Statutes (2022), regardless of whether any such obligations are based in tort, contract, statute, strict liability, and negligence, product liability or otherwise. This provision shall survive the termination of this Contract.

§21.0 **Jury Trial.** EACH PARTY HEREBY COVENANTS AND AGREES THAT IN ANY LITIGATION, SUIT, ACTION, COUNTERCLAIM, OR PROCEEDING, WHETHER AT LAW OR IN EQUITY, WHICH ARISES OUT OF, CONCERNS, OR RELATES TO THIS AGREEMENT, ANY AND ALL TRANSACTIONS CONTEMPLATED THEREUNDER, THE PERFORMANCE THEREOF, OR THE RELATIONSHIP CREATED THEREBY, WHETHER SOUNDING IN CONTRACT, TORT, STRICT LIABILITY, OR OTHERWISE, TRIAL SHALL BE TO A COURT OF COMPETENT JURISDICTION AND NOT TO A JURY. EACH PARTY HEREBY IRREVOCABLY WAIVES ANY RIGHT IT MAY HAVE TO A TRIAL BY JURY. ANY PARTY MAY FILE AN ORIGINAL COUNTERPART OR A COPY OF THE AGREEMENT WITH ANY COURT, AS WRITTEN EVIDENCE OF THE CONSENT OF THE PARTIES HERETO OF THE WAIVER OF THEIR RIGHT TO TRIAL BY JURY. NEITHER PARTY HAS MADE OR RELIED UPON ANY ORAL REPRESENTATIONS TO OR BY THE OTHER PARTY REGARDING THE ENFORCEABILITY OF THIS PROVISION. EACH PARTY HAS READ AND UNDERSTANDS THE EFFECT OF THIS JURY WAIVER PROVISION.

§22.0 **Duty to Cooperate and Act in Good Faith.** The parties acknowledge and agree that it is in their best interests and the best interests of the public that this Agreement be performed in strict accordance with the terms, covenants and conditions contained herein; and the parties shall, in all instances, cooperate and act in good faith in complying with all of the terms, covenants and conditions contained herein.

§23.0 **Recordation.** This Agreement shall constitute a covenant running with the Property and be recorded in the Public Records of Polk County, Florida.

The rest of this page left intentionally blank; signatures follow

Executed by the parties on the date shown adjacent thereto:

Developer:

**EDEN HILLS COMMUNITY
DEVELOPMENT DISTRICT**

Print Name: _____

By: _____

Name: _____

Print Name: _____

Its: _____

Date: _____

Approved by District Attorney:

By: _____

Lauren Gentry, Esq.

*Approved As To Form and Legal
Sufficiency.*

STATE OF FLORIDA
COUNTY OF _____

The foregoing instrument was acknowledged before me, by means of ☐ physical presence or ☐ online notarization, this _____ day of _____, 2023, by _____, as _____, EDEN HILLS COMMUNITY DEVELOPMENT DISTRICT, a unit of special purpose government created and existing pursuant to Chapter 190 of the Florida Statutes, on its behalf, who is personally known to me or who has produced _____ as identification.

(NOTARY SEAL)

Notary Public Signature

(Name typed, printed or stamped)

Notary Public, State of Florida

Commission No. _____

My Commission Expires: _____

City of Lake Alfred:

**CITY COMMISSION OF THE
(SEAL)**

CITY OF LAKE ALFRED

ATTEST:

By: _____
Nancy Z. Daley, Mayor

Date: _____

By: _____
Linda Bourgeois, BAS, MMC, City Clerk

Approved by City Attorney

By: _____
Frederick J. Murphy
*Approved As To Form and Legal
Sufficiency.*

EXHIBIT A

INSTR # 2022260064
BK 12432 Pgs 2054-2092 PG(s)39
RECORDED 09/26/2022 02:47:49 PM
STACY M. BUTTERFIELD, CLERK OF COURT
POLK COUNTY
RECORDING FEES \$333.00
RECORDED BY shakcamp

Space for recording

RESOLUTION 14-22

A RESOLUTION OF THE CITY OF LAKE ALFRED, FLORIDA; APPROVING THAT CERTAIN PLAT ENTITLED "EDEN HILLS PHASE 2" FOR FILING IN ACCORDANCE WITH CHAPTER 177, FLORIDA STATUTES AND SECTION 9.7.4 OF THE LAKE ALFRED UNIFIED LAND DEVELOPMENT CODE; AND ACCEPTING CERTAIN DEDICATIONS AND PROVIDING CONDITIONS; PROVIDING FOR THE INCORPORATION OF RECITALS, PROVIDING FOR CONFLICTS, PROVIDING FOR SEVERABILITY, PROVIDING FOR THE ADMINISTRATIVE CORRECTION OF SCRIVENERS ERRORS, AND PROVIDING FOR AN EFFECTIVE DATE. (General Location: north and east of Cass Road, north of Lake Alfred, south of Grassy Lake, south of Old Lake Alfred Road, and west of County Road 557, further described as parcel 262719-000000-022010 and 262720-000000-044020. The area covered by this request is 166.8± acres.)

WHEREAS, JMBI Development, LLC, an active Florida limited liability company, is the owner of the below-described lands and has submitted that certain plat entitled "Eden Hills Phase 2" (the "Plat") for approval for filing by the City Commission of the City of Lake Alfred in accordance with Chapter 177 of the Florida Statutes and Section 9.7.4 of the City of Lake Alfred Unified Land Development Code (the "ULDC"); and

WHEREAS, the Plat is attached hereto as Exhibit "A" and made a part hereof by reference; and

WHEREAS, Section 9.7.4.F of the ULDC states that upon acceptance by the City Engineer of all subdivision improvements, or the City's acceptance of a performance bond, the developer may present a final plat to the City Commission for approval; and

WHEREAS, the owner, JMBI Development, LLC, has provided an acceptable performance bond, attached hereto and made a part hereof as Exhibit "B," in the amount of 120% of the estimated cost of all dedicated infrastructure improvements onsite and offsite in favor of the City of Lake Alfred; and

WHEREAS, the performance bond (see Exhibit "B") ensures the completion of the subdivision infrastructure and improvements which includes, but is not to be limited to, setting the Permanent Control Points as shown on the Plat (see Exhibit "A") in accordance with applicable Florida law and the requirements and standards set forth by the City of Lake Alfred Unified Land Development Code and/or Code of Ordinances; and

WHEREAS, on September 8, 2022, pursuant to Section 9.7.4.F.3 of the ULDC, the City Commission will consider the Plat for acceptance and recording; and

WHEREAS, pursuant to Section 9.7.4.F.4 of the ULDC and Florida law, the City Commission may by resolution, approve the Plat and dedication(s) and/or conditionally approve the Plat and dedications; and

WHEREAS, on September 8, 2022, the City Commission of the City of Lake Alfred, Florida, held a public hearing to take action on the Plat.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COMMISSION OF THE CITY OF LAKE ALFRED, FLORIDA:

SECTION 1. RECITALS INCORPORATED. The provisions set forth in the recitals (whereas clauses) are hereby adopted by the City Commission as the legislative findings and intent pertaining to this Resolution.

SECTION 2. PLAT ACCEPTANCE. The applicant, JMBI Development, LLC, an active Florida limited liability company, is the owner of the real property and/or lands more specifically described on Exhibit "A" which is attached hereto and incorporated herein by reference. Pursuant to Section 9.7.4 of the City of Lake Alfred Unified Land Development Code and Florida law, JMBI Development, LLC, has provided a performance bond, which is attached hereto and made a part hereof as Exhibit "B," issued by the Lexon Insurance Company in the amount of \$1,555,748.71, or 120% of the cost of all outstanding improvements and offsite infrastructure in favor of the City of Lake Alfred in order to ensure completion of all infrastructure and dedicated improvements within the subdivision and shown on the Plat being approved for filing herein. Further, the estimate of the costs of completing said infrastructure and improvements is in the amounts as presented by an authorized representative of the owner and approved by the City's Engineer as more specifically identified on Exhibit "B," attached hereto and incorporated by reference.

On September 8, 2022, that certain EASEMENT, as described by Exhibit "C" and attached hereto and incorporated herein by reference, was presented to the City Commission along with that certain plat entitled "Eden Hills Phase 2," as described in Exhibit "A," and attached hereto and incorporated by reference. The City Commission, having reviewed the EASEMENT and Plat for filing, accepts and approves the EASEMENT and Plat and authorizes the Mayor and City Clerk to sign the copy(ies) of the Plat to be recorded.

SECTION 3. UTILITY SYSTEMS. The City of Lake Alfred **DOES NOT** accept the road rights-of-way, public drainage easements, or public utility easements for the subject lands including but not limited to roadways, wastewater systems, and potable water systems, as identified on Exhibit "A," until all such systems are constructed as noted on the Plat and have passed all required tests, and certifications have been obtained, and the systems are fully operational pursuant to City standards. Further, no certificates of occupancy for any structures constructed thereon will be issued until all such street and utility systems, and other required infrastructure and improvements as required by the City of Lake Alfred Unified Land Development Code, City of Lake Alfred Code of Ordinances, and applicable Florida Law are fully operational pursuant to City standards and have been accepted by the City.

SECTION 4. STORMWATER MANAGEMENT. The City of Lake Alfred **DOES NOT** accept stormwater tracts and/or drainage easement, as identified on Exhibit "A" and designated for stormwater management as notated on the Plat, as that will remain the responsibility of the Eden Hills Community Development District pursuant to said Plat and the Amended and Restated Declaration of Covenants, Conditions, and Restrictions to be recorded in the Public Records of

Polk County, Florida. It is the express intention of the City of Lake Alfred that it will not accept for dedication said stormwater systems.

SECTION 5. CONFLICTS. All resolutions in conflict with this Resolution are repealed to the extent necessary to give this Resolution full force and effect.

SECTION 6. SEVERABILITY. The provisions of this Resolution are severable. If any word, sentence, clause, phrase, or provision of this Resolution for any reason is declared by any court of competent jurisdiction to be void, unconstitutional, or unenforceable, then all remaining provisions and portions of this Resolution shall remain in full force and effect.

SECTION 7. CORRECTION OF SCRIVENER'S ERRORS. The correction of typographical and/or scrivener's errors in this Resolution which do not affect the intent may be authorized by the City Manager or his designee, without need of consideration by the City Commission, by filing a corrected or recodified copy of same with the City Clerk.

SECTION 4. EFFECTIVE DATE. This Resolution shall take effect immediately upon passage and shall remain valid for one year from the date of passage by the City Commission.

INTRODUCED AND PASSED by the City Commission of the City of Lake Alfred, Florida, in regular session this 8th day of September 2022.

CITY OF LAKE ALFRED, FLORIDA

CITY COMMISSION

Jack C. Dearmin

Jack C. Dearmin, Mayor

ATTEST:

Linda Bourgeois

Linda Bourgeois, BAS, MMC, City Clerk



Approved as to form:

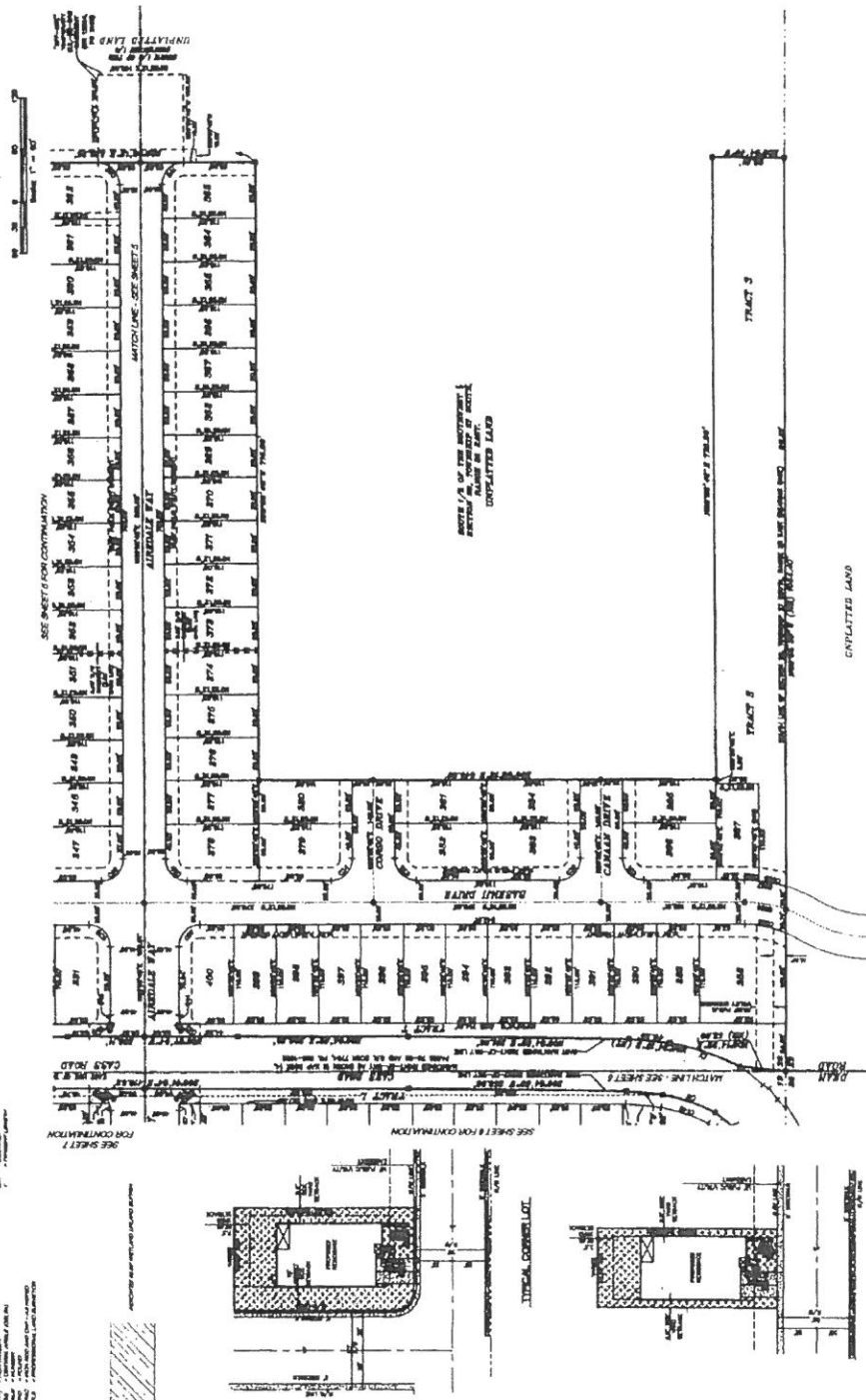
Frederick J. Murphy, Jr.

Frederick J. Murphy, Jr., City Attorney

Exhibit "A"
Resolution 14-22

FINAL PLAT
EDEN HILLS PHASE 2

SECTIONS 19 AND 20, TOWNSHIP 27 SOUTH, RANGE 26 EAST,
CITY OF LAKE ALFRED, POLK COUNTY, FLORIDA

[illegible][illegible]

TRACT LOCATOR TABLE

[illegible]

TYPICAL LOT LAYOUT

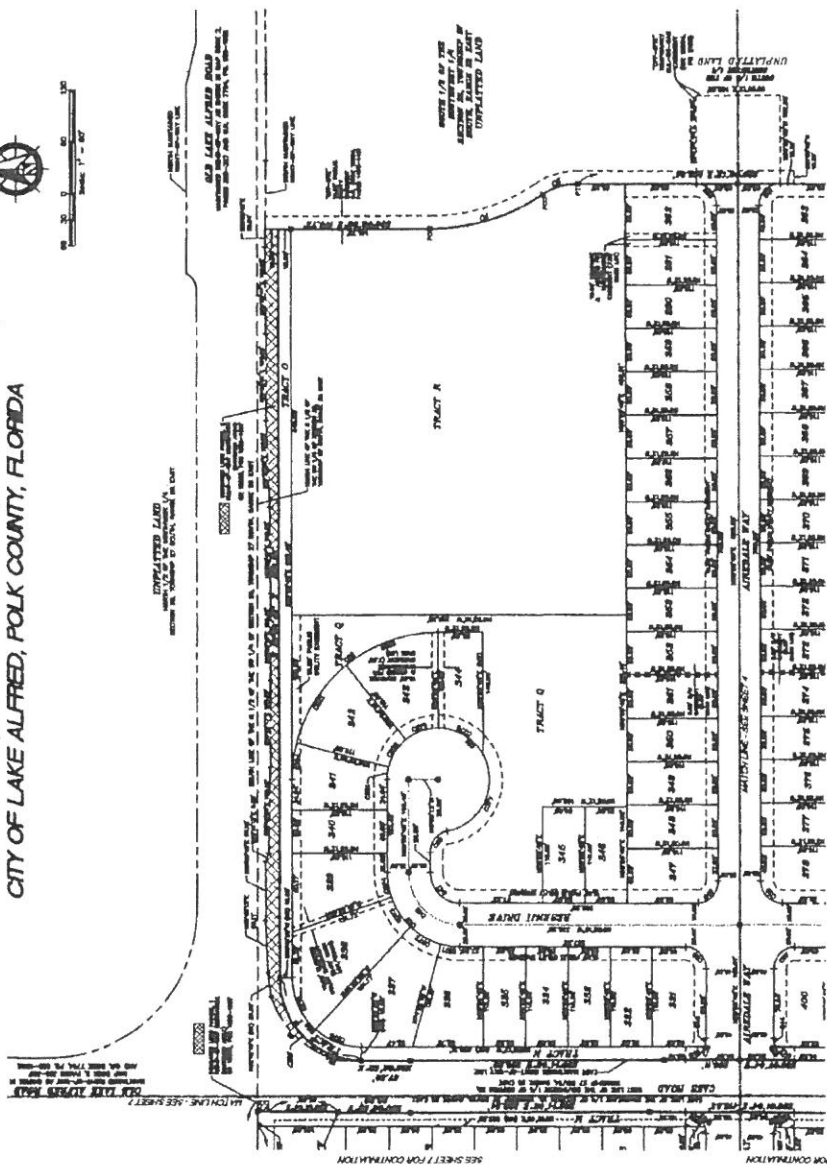
MO:
Printing Unsatisfactory Received.

Page 8 of 10

RECORDER'S MEMO:
Legibility of Writing, Typing or Printing Unsatisfactory in This Document When Received.

CERTIFICATION
STACY M. BUTTERFIELD
CLERK OF THE CIRCUIT COURT

PLAT BOOK _____ **PAGE** _____
SHEET 5 OF 18

[illegible][illegible][illegible]

FLOOD HAZARDOUS REAL ESTATE
THIS PROPERTY MAY BE SUBJECT TO A DRAINAGE DRAINAGE DISTRICT THE CITY OF LAKE ARMOING AND OTHER THE LATEST AVAILABLE NOW ON FLOOD HAZARDOUS AND ASSURANCE MAPS SHOWING AROUND PLANS FOR THE USE OF THIS PROPERTY. ANY OTHER MAPS, SUCH AS A FLOOD HAZARDOUS MAP, MAY BE AVAILABLE FROM THE CITY OF LAKE ARMOING. ANY OTHER MAPS, SUCH AS A FLOOD HAZARDOUS MAP, MAY BE AVAILABLE FROM THE CITY OF LAKE ARMOING.

WETLANDS AREA NOTE
WETLANDS ARE AREAS OF SOFT MUD, SAND, OR OTHER SOFT MATERIALS THAT ARE SATURATED WITH WATER OR ARE OTHERWISE PERMANENTLY OR SEASONALLY FLOODED. THESE AREAS ARE OFTEN HOME TO A WIDE VARIETY OF PLANT AND ANIMAL LIFE, INCLUDING BIRDS, FISH, AND INSECTS. IT IS IMPORTANT TO PROTECT THESE AREAS FROM DEVELOPMENT AND OTHER HUMAN ACTIVITIES THAT COULD DAMAGE THEM.

[illegible]

Pennoni

PENNON ASSOCIATES INC.
401 Third Street SW
Pittsburgh, PA 15202
T 800.324.1112 F 800.294.8785
COW LOCATIONS: LA 88129

RECORDER'S MEMO:
Legibility of Writing, Typing or Printing Unsatisfactory In This Document When Received.

CERTIFICATION ON LAST PAGE
STACY M. BUTTERFIELD
CLERK OF THE CIRCUIT COURT

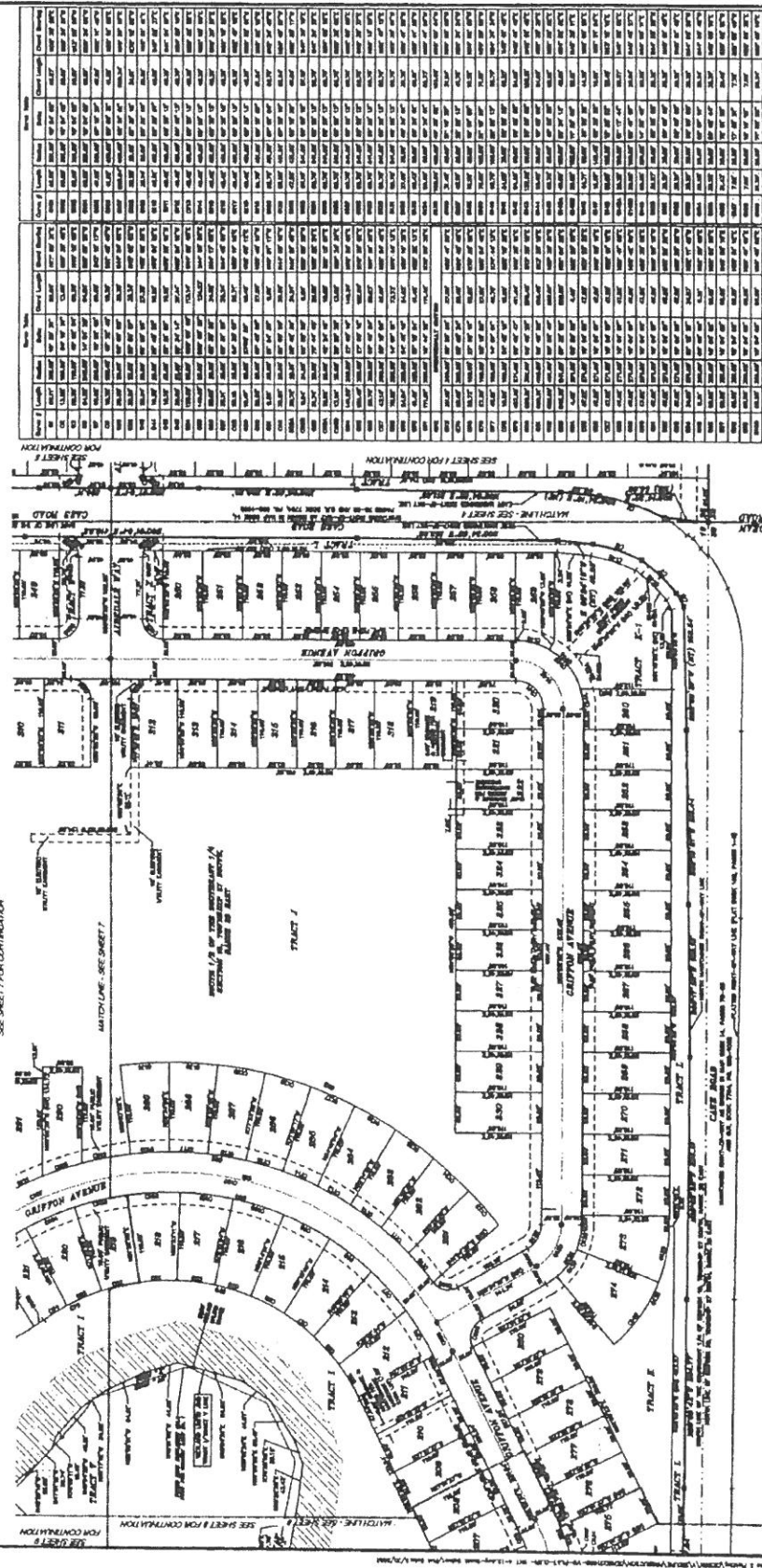
EDEN HILLS PHASE 2

SECTIONS 19 AND 20, TOWNSHIP 27 SOUTH, RANGE 26 EAST,
CITY OF LAKE ALFRED, POLK COUNTY, FLORIDA

- NOTES AND LEGEND**
- 1. THE PROPERTY IS TO BE CONVEYED TO THE CITY OF LAKE ALFRED, FLORIDA, FOR THE PURPOSE OF BEING USED AS A PARK AND RECREATION AREA.
 - 2. THE PROPERTY IS TO BE CONVEYED TO THE CITY OF LAKE ALFRED, FLORIDA, FOR THE PURPOSE OF BEING USED AS A PARK AND RECREATION AREA.
 - 3. THE PROPERTY IS TO BE CONVEYED TO THE CITY OF LAKE ALFRED, FLORIDA, FOR THE PURPOSE OF BEING USED AS A PARK AND RECREATION AREA.
 - 4. THE PROPERTY IS TO BE CONVEYED TO THE CITY OF LAKE ALFRED, FLORIDA, FOR THE PURPOSE OF BEING USED AS A PARK AND RECREATION AREA.
 - 5. THE PROPERTY IS TO BE CONVEYED TO THE CITY OF LAKE ALFRED, FLORIDA, FOR THE PURPOSE OF BEING USED AS A PARK AND RECREATION AREA.
 - 6. THE PROPERTY IS TO BE CONVEYED TO THE CITY OF LAKE ALFRED, FLORIDA, FOR THE PURPOSE OF BEING USED AS A PARK AND RECREATION AREA.
 - 7. THE PROPERTY IS TO BE CONVEYED TO THE CITY OF LAKE ALFRED, FLORIDA, FOR THE PURPOSE OF BEING USED AS A PARK AND RECREATION AREA.
 - 8. THE PROPERTY IS TO BE CONVEYED TO THE CITY OF LAKE ALFRED, FLORIDA, FOR THE PURPOSE OF BEING USED AS A PARK AND RECREATION AREA.
 - 9. THE PROPERTY IS TO BE CONVEYED TO THE CITY OF LAKE ALFRED, FLORIDA, FOR THE PURPOSE OF BEING USED AS A PARK AND RECREATION AREA.
 - 10. THE PROPERTY IS TO BE CONVEYED TO THE CITY OF LAKE ALFRED, FLORIDA, FOR THE PURPOSE OF BEING USED AS A PARK AND RECREATION AREA.



Scale 1" = 60'



PERMON ASSOCIATES, INC.
10000 N. W. 11th Ave.
Tampa, FL 33613
T. 813.288.1111
C. 813.288.1111

EDEN HILLS PLAT BOOK 185, PAGES 1-8

TRACT LEGAL TABLE

TRACT	LEGAL DESCRIPTION	ACRES
TRACT 1
TRACT 2
TRACT 3

RECORDING AREA NOTE

...

RECORDER'S MEMO:
Legibility of Writing, Typing or Printing Unsatisfactory in This Document When Received.

CERTIFICATION ON LAST PAGE
STACY M. BUTTERFIELD
CLERK OF THE CIRCUIT COURT

EDEN HILLS PHASE 2

SECTIONS 19 AND 20, TOWNSHIP 27 SOUTH, RANGE 26 EAST,
CITY OF LAKE ALFRED, POLK COUNTY, FLORIDA

NOTES AND LEGEND

1. THIS PLAT IS A PRELIMINARY PLAT AND IS NOT TO BE USED FOR ANY PURPOSES OTHER THAN FOR THE PURPOSES OF THE PLAT.

2. THE PLAT IS A PRELIMINARY PLAT AND IS NOT TO BE USED FOR ANY PURPOSES OTHER THAN FOR THE PURPOSES OF THE PLAT.

3. THE PLAT IS A PRELIMINARY PLAT AND IS NOT TO BE USED FOR ANY PURPOSES OTHER THAN FOR THE PURPOSES OF THE PLAT.

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5. THE PLAT IS A PRELIMINARY PLAT AND IS NOT TO BE USED FOR ANY PURPOSES OTHER THAN FOR THE PURPOSES OF THE PLAT.

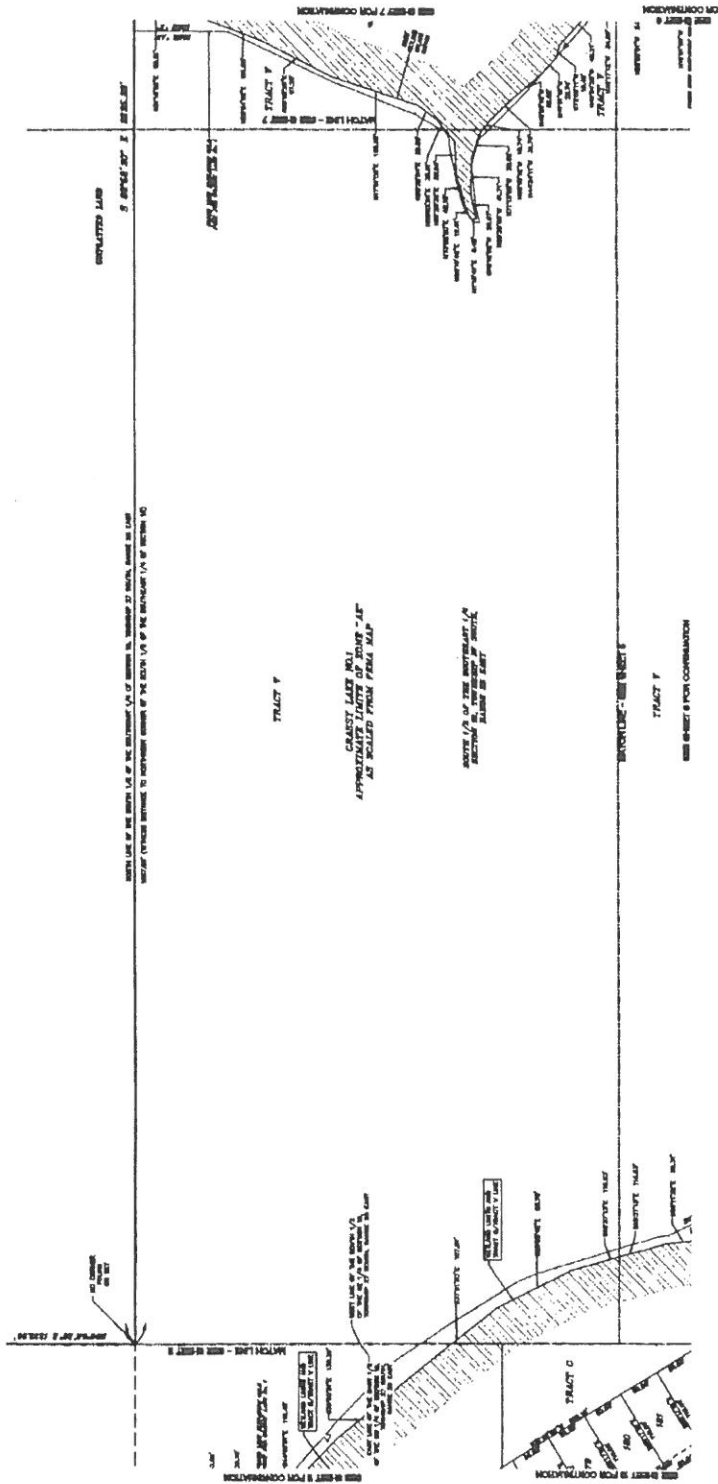
6. THE PLAT IS A PRELIMINARY PLAT AND IS NOT TO BE USED FOR ANY PURPOSES OTHER THAN FOR THE PURPOSES OF THE PLAT.

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10. THE PLAT IS A PRELIMINARY PLAT AND IS NOT TO BE USED FOR ANY PURPOSES OTHER THAN FOR THE PURPOSES OF THE PLAT.



FLOOD HAZARD WARNING:

THIS PLAT IS A PRELIMINARY PLAT AND IS NOT TO BE USED FOR ANY PURPOSES OTHER THAN FOR THE PURPOSES OF THE PLAT.

NOTICE:

THIS PLAT IS A PRELIMINARY PLAT AND IS NOT TO BE USED FOR ANY PURPOSES OTHER THAN FOR THE PURPOSES OF THE PLAT.

TRACT DEGREE TABLE

TRACT	DEGREE
TRACT A	1.00
TRACT B	1.00
TRACT C	1.00
TRACT D	1.00
TRACT E	1.00
TRACT F	1.00
TRACT G	1.00
TRACT H	1.00
TRACT I	1.00
TRACT J	1.00
TRACT K	1.00
TRACT L	1.00
TRACT M	1.00
TRACT N	1.00
TRACT O	1.00
TRACT P	1.00
TRACT Q	1.00
TRACT R	1.00
TRACT S	1.00
TRACT T	1.00
TRACT U	1.00
TRACT V	1.00
TRACT W	1.00
TRACT X	1.00
TRACT Y	1.00
TRACT Z	1.00

RECORDING INFORMATION:

THIS PLAT IS A PRELIMINARY PLAT AND IS NOT TO BE USED FOR ANY PURPOSES OTHER THAN FOR THE PURPOSES OF THE PLAT.

PLAT BOOK PAGE

RECORDER'S MEMO:
Legibility of Writing, Typing or Printing Unsatisfactory in This Document When Received.

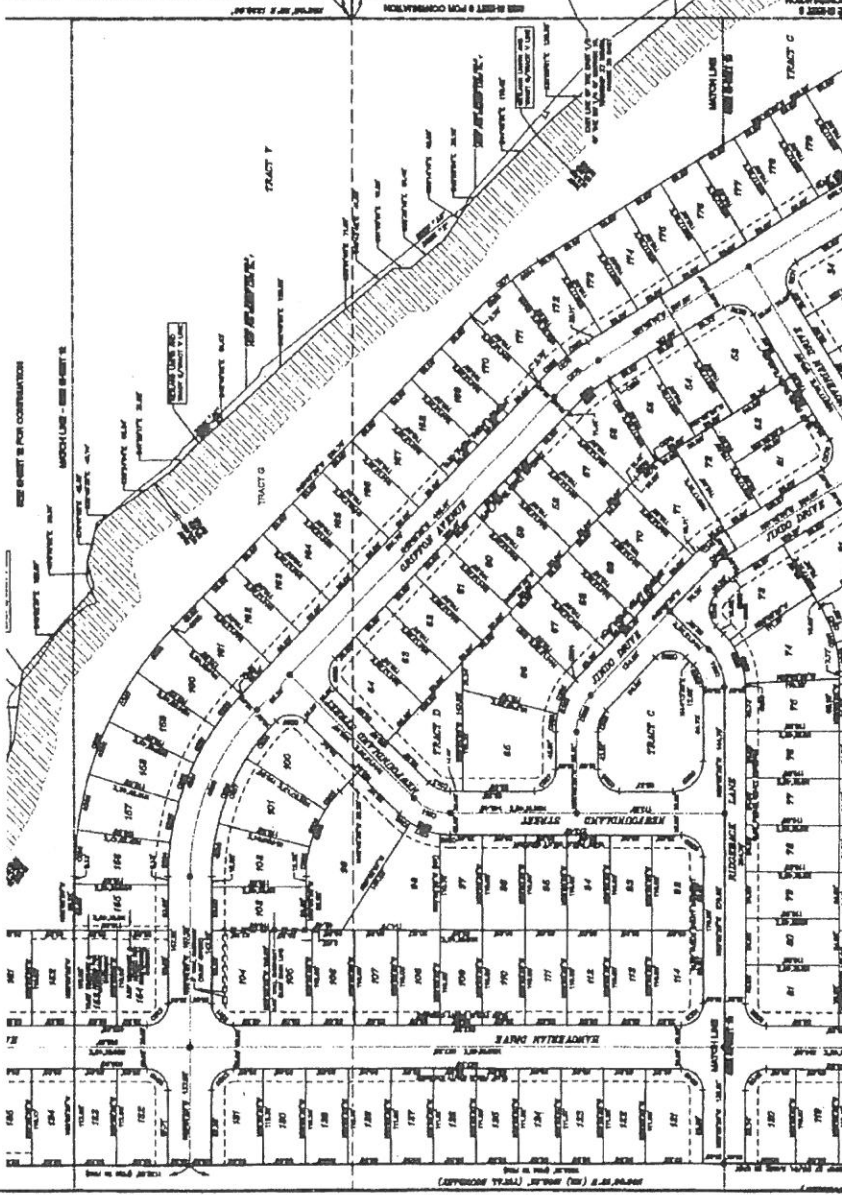
Page 14 of 39

EDEN HILLS PHASE 2 SECTIONS 19 AND 20, TOWNSHIP 27 SOUTH, RANGE 28 EAST, CITY OF LAKE ALFRED, POLK COUNTY, FLORIDA



Scale 1" = 50'

Block	Tract	Area (Ac.)	Owner	Deed No.	Deed Date	Deed Book	Deed Page
1	1	0.10
1	2	0.10
1	3	0.10
1	4	0.10
1	5	0.10
1	6	0.10
1	7	0.10
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1	95	0.10
1	96	0.10
1	97	0.10
1	98	0.10
1	99	0.10
1	100	0.10



NOTICE: This plat is subject to the provisions of the Florida Statutes, Chapter 218, and the rules of the Florida Board of Survey. The plat is subject to the provisions of the Florida Statutes, Chapter 218, and the rules of the Florida Board of Survey.

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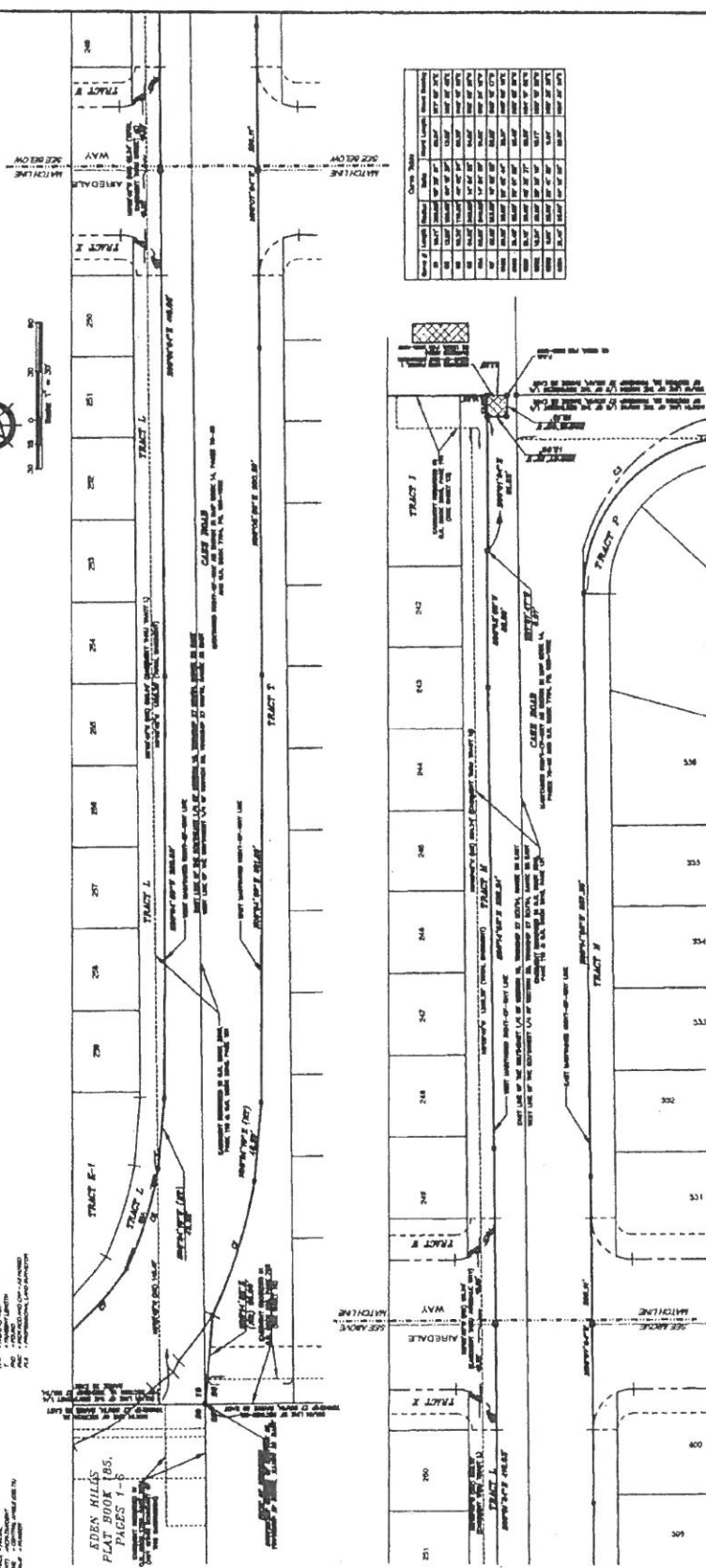
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CERTIFICATION ON LAST PAGE
STACY M. BUTTERFIELD
CLERK OF THE CIRCUIT COURT

SECTIONS 19 AND 20, TOWNSHIP 27 SOUTH, RANGE 26 EAST,
CITY OF LAKE ALFRED, POLK COUNTY, FLORIDA



Cure Mode					Inert Length	Inert Temp
Speed 4	Length	Radius	Mode			
0	0.0017	0.0000	0.0000	0.0000	0.0000	0.0000
10	0.0017	0.0000	0.0000	0.0000	0.0000	0.0000
20	0.0017	0.0000	0.0000	0.0000	0.0000	0.0000
30	0.0017	0.0000	0.0000	0.0000	0.0000	0.0000
40	0.0017	0.0000	0.0000	0.0000	0.0000	0.0000
50	0.0017	0.0000	0.0000	0.0000	0.0000	0.0000
60	0.0017	0.0000	0.0000	0.0000	0.0000	0.0000
70	0.0017	0.0000	0.0000	0.0000	0.0000	0.0000
80	0.0017	0.0000	0.0000	0.0000	0.0000	0.0000
90	0.0017	0.0000	0.0000	0.0000	0.0000	0.0000
100	0.0017	0.0000	0.0000	0.0000	0.0000	0.0000
110	0.0017	0.0000	0.0000	0.0000	0.0000	0.0000
120	0.0017	0.0000	0.0000	0.0000	0.0000	0.0000
130	0.0017	0.0000	0.0000	0.0000	0.0000	0.0000
140	0.0017	0.0000	0.0000	0.0000	0.0000	0.0000
150	0.0017	0.0000	0.0000	0.0000	0.0000	0.0000
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210	0.0017	0.0000	0.0000	0.0000	0.0000	0.0000
220	0.0017	0.0000	0.0000	0.0000	0.0000	0.0000
230	0.0017	0.0000	0.0000	0.0000	0.0000	0.0000
240	0.0017	0.0000	0.0000	0.0000	0.0000	0.0000
250	0.0017	0.0000	0.0000	0.0000	0.0000	0.0000
260	0.0017	0.0000	0.0000	0.0000	0.0000	0.0000
270	0.0017	0.0000	0.0000	0.0000	0.0000	0.0000
280	0.0017	0.0000	0.0000	0.0000	0.0000	0.0000
290	0.0017	0.0000	0.0000	0.0000	0.0000	0.0000
300	0.0017	0.0000	0.0000	0.0000	0.0000	0.0000
310	0.0017	0.0000	0.0000	0.0000	0.0000	0.0000
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360	0.0017	0.0000	0.0000	0.0000	0.0000	0.0000
370	0.0017	0.0000	0.0000	0.0000	0.0000	0.0000
380	0.0017	0.0000	0.0000	0.0000	0.0000	0.0000
390	0.0017	0.0000	0.0000	0.0000	0.0000	0.0000
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410	0.0017	0.0000	0.0000	0.0000	0.0000	0.0000
420	0.0017	0.0000	0.0000	0.0000	0.0000	0.0000
430	0.0017	0.0000	0.0000	0.0000	0.0000	0.0000
440	0.0017	0.0000	0.0000	0.0000	0.0000	0.0000
450	0.0017	0.0000	0.0000	0.0000	0.0000	0.0000

WETLANDS AREA NOTICE
WETLANDS AND WETLANDS ARE A NATURAL PART OF ALL ECOSYSTEMS. THEY PROVIDE A VARIETY OF SERVICES, INCLUDING WATER PURIFICATION, FLOOD PROTECTION, AND HABITAT FOR WILDLIFE. THE U.S. ARMY CORPS OF ENGINEERS IS REQUIRED TO PROTECT THESE RESOURCES. IF YOU ARE PLANNING TO CONDUCT ANY ACTIVITY THAT MAY AFFECT WETLANDS, YOU MUST FIRST OBTAIN A PERMIT FROM THE CORPS. FOR MORE INFORMATION, CONTACT YOUR LOCAL DISTRICT OFFICE.

[illegible]

ROTTING RAINBOWS—LOCAL YAHAL
The local rainbow trout population is suffering from a disease which has been identified as "rotting rainbow." The disease is caused by a parasite which enters the fish through the gills and spreads throughout the body. The fish become weak and die within a few days. The disease is most common in young fish, but can also affect older fish. The local fishery is suffering a heavy loss of fish due to this disease. The fishery is now closed to fishing until the disease has been brought under control. The fishery is being treated with a chemical which is supposed to kill the parasite. The fishery is being watched closely to see if the disease is spreading.

[illegible]

Pennoni

PENNONI ASSOCIATES INC.
400 Third Street NW
Winter Haven, FL 32909
T 888.324.1112 F 888.294.6188
CNA 000000000 1.0 00136

RECORDER'S MEMO:
Legibility of Writing, Typing or Printing Unsatisfactory in This Document When Received.

CERTIFICATION ON LAST PAGE
STACY M. BUTTERFIELD
CLERK OF THE CIRCUIT COURT Page 18 of 39

Exhibit "B"

Resolution 14-22

PERFORMANCE BOND
EDEN HILLS PHASE 2

SUBDIVISION BOND

Bond No.: LICX1215346

Principal Amount: \$1,555,748.71

KNOW ALL MEN BY THESE PRESENTS, that we

Eden Hills Community Development District

219 E. Livingston Street, Orlando, FL 32801

as Principal, and

Lexon Insurance Company

12890 Lebanon Road, Mt. Juliet, TN 37122

a TX

Corporation, as Surety, are held and firmly bound unto

City of Lake Alfred,

120 E. Pomelo Street, Lake Alfred, FL 33850

as Oblige, in the penal sum of

One Million Five Hundred Fifty Five Thousand Seven Hundred Forty Eight

Dollars and 71/100 (Dollars) (\$ 1,555,748.71), lawful money of the United States of America, for the payment of which well and truly to be made, we bind ourselves, our heirs, executors, administrators, successors and assigns, jointly and severally, firmly by these presents.

WHEREAS, Eden Hills Community Development District has agreed to construct in Eden Hills Phase 2 Subdivision, in Lake Alfred, FL the following improvements:

General Conditions, Paving, Offsite Paving, Water System, Sanitary Sewer System and Miscellaneous Improvements

NOW, THEREFORE, THE CONDITION OF THIS OBLIGATION IS SUCH, that if the said Principal shall construct, or have constructed, the improvements herein described, and shall save the Oblige harmless from any loss, cost or damage by reason of its failure to complete said work, then this obligation shall be null and void, otherwise to remain in full force and effect, and the Surety, upon receipt of a resolution of the Oblige indicating that the improvements have not been installed or completed, will complete the improvements or pay to the Oblige such amount up to the Principal amount of this bond which will allow the Oblige to complete the improvements.

Upon approval by the Oblige, this instrument may be proportionately reduced as the public improvements are completed.

Signed, sealed and dated, this 19th day of August, 2022

Eden Hills Community Development
District

Principal

By: 

Lexon Insurance Company

Surety

By: 

Stephen T. Kazmer Attorney-in-Fact



CERTIFICATION ON LAST PAGE
STACY M. BUTTERFIELD
CLERK OF THE CIRCUIT COURT



SOMPO INTERNATIONAL
INSURANCE

POWER OF ATTORNEY

KNOW ALL BY THESE PRESENTS, that Endurance Assurance Corporation, a Delaware corporation, Endurance American Insurance Company, a Delaware corporation, Laxon Insurance Company, a Texas corporation, and/or Bond Safeguard Insurance Company, a South Dakota corporation, each, a "Company" and collectively, "Sompo International," do hereby constitute and appoint: **Stephen T. Kazmer**

as true and lawful Attorney-in-Fact to make, execute, seal, and deliver for, and on its behalf as surety or co-surety; bonds and undertakings given for any and all purposes, also to execute and deliver on its behalf as aforesaid renewals, extensions, agreements, waivers, consents or stipulations relating to such bonds or undertakings provided, however, that no single bond or undertaking so made, executed and delivered shall obligate the Company for any portion of the penal sum thereof in excess of the sum of Twenty Million Dollars (\$20,000,000.00).

Surety Bond No.: LICX1215346

Principal: Eden Hills Community Development District

Obligee: City of Lake Alfred

Such bonds and undertakings for said purposes, when duly executed by said attorney-in-fact, shall be binding upon the Company as fully and to the same extent as if signed by the President of the Company under its corporate seal attested by its Corporate Secretary.

This appointment is made under and by authority of certain resolutions adopted by the sole shareholder of each Company by unanimous written consent effective the 15th day of June, 2019, a copy of which appears below under the heading entitled "Certificate".

This Power of Attorney is signed and sealed by facsimile under and by authority of the following resolution adopted by the sole shareholder of each Company by unanimous written consent effective the 15th day of June, 2019 and said resolution has not since been revoked, amended or repealed:

RESOLVED, that the signature of an individual named above and the seal of the Company may be affixed to any such power of attorney or any certificate relating thereto by facsimile, and any such power of attorney or certificate bearing such facsimile signature or seal shall be valid and binding upon the Company in the future with respect to any bond or undertaking to which it is attached.

IN WITNESS WHEREOF, each Company has caused this instrument to be signed by the following officers, and its corporate seal to be affixed this 15th day of June, 2019.

Endurance Assurance Corporation
By: *Richard M. Appel*
Richard Appel, SVP & Senior Counsel

Endurance American Insurance Company
By: *Richard M. Appel*
Richard Appel, SVP & Senior Counsel

Laxon Insurance Company
By: *Richard M. Appel*
Richard Appel, SVP & Senior Counsel

Bond Safeguard Insurance Company
By: *Richard M. Appel*
Richard Appel, SVP & Senior Counsel



ACKNOWLEDGEMENT

On this 15th day of June, 2019, before me, personally came the above signatories known to me, who being duly sworn, did depose and say that he/she is the officer of each of the Companies; and that he executed said instrument on behalf of each Company by authority of his office under the by-laws of each Company.

By: *Amy Taylor*
Amy Taylor, Notary Public, My Commission Expires 09/23

CERTIFICATE

I, the undersigned Officer of each Company, DO HEREBY CERTIFY that:

1. That the original power of attorney of which the foregoing is a copy was duly executed on behalf of each Company and has not since been revoked, amended or modified; that the undersigned has compared the foregoing copy thereof with the original power of attorney, and that the same is a true and correct copy of the original power of attorney and of the whole thereof;

2. The following are resolutions which were adopted by the sole shareholder of each Company by unanimous written consent effective June 15, 2019 and said resolutions have not since been revoked, amended or modified:

"RESOLVED, that each of the individuals named below is authorized to make, execute, seal and deliver for and on behalf of the Company any and all bonds, undertakings or obligations in surety or co-surety with others: RICHARD M. APPEL, BRIAN J. BEGGS, CHRISTOPHER DONELAN, SHARON L. SIMS, CHRISTOPHER L. SPARRO, MARIANNE L. WILBERT

; and be it further

RESOLVED, that each of the individuals named above is authorized to appoint attorneys-in-fact for the purpose of making, executing, sealing and delivering bonds, undertakings or obligations in surety or co-surety for and on behalf of the Company."

3. The undersigned further certifies that the above resolutions are true and correct copies of the resolutions as so recorded and of the whole thereof.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal this 19th day of August, 2022.

By: *Daniel S. Luffa*
Daniel S. Luffa, Secretary

NOTICE: U.S. TREASURY DEPARTMENT'S OFFICE OF FOREIGN ASSETS CONTROL (OFAC)

No coverage is provided by this Notice nor can it be construed to replace any provisions of any surety bond or other surety coverage provided. This Notice provides information concerning possible impact on your surety coverage due to directives issued by OFAC. Please read this Notice carefully.

The Office of Foreign Assets Control (OFAC) administers and enforces sanctions policy, based on Presidential declarations of "national emergency". OFAC has identified and listed numerous foreign agents, front organizations, terrorists, terrorist organizations, and narcotics traffickers as "Specially Designated Nationals and Blocked Persons". This list can be located on the United States Treasury's website - <https://www.treasury.gov/resource-center/sanctions/SDN-List>.

In accordance with OFAC regulations, if it is determined that you or any other person or entity claiming the benefits of any coverage has violated U.S. sanctions law or is a Specially Designated National and Blocked Person, as identified by OFAC, any coverage will be considered a blocked or frozen contract and all provisions of any coverage provided are immediately subject to OFAC. When a surety bond or other form of surety coverage is considered to be such a blocked or frozen contract, no payments nor premium refunds may be made without authorization from OFAC. Other limitations on the premiums and payments may also apply.

Any reproductions are void.

Surety Claims Submission: LaxonClaimsAdministration@sompo-intl.com

Telephone: 615-553-8500 Mailing Address: Sompo International; 12890 Lebanon Road; Mount Juliet, TN 37122-2870

CERTIFICATION ON LAST PAGE
STACY M. BUTTERFIELD
CLERK OF THE CIRCUIT COURT

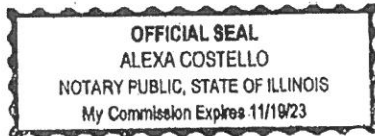
STATE OF ILLINOIS }
COUNTY OF DU PAGE}

On August 19, 2022, before me, Alexa Costello, a Notary Public in and for said County and State, duly commissioned and sworn, personally appeared, Stephen T. Kazmer, known to me to be Attorney-in-Fact of Lexon Insurance Company, the corporation described in and that executed the within and foregoing instrument, and known to me to be the person who executed the said instrument on behalf of the said corporation, and he duly acknowledged to me that such corporation executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal, the day and year stated in this certificate above.

My Commission Expires November 19, 2023

Alexa Costello
Alexa Costello, Notary Public
Commission No. 904586



PERFORMANCE BOND

Bond No. _____

KNOWN ALL MEN BY THESE PRESENTS, That we, _____, as Principal, and _____, a corporation organized and doing business under and by virtue of the laws of the State of _____ and duly licensed to conduct surety business in the State of Florida, as Surety, are held and firmly bound unto the City of Lake Alfred, a municipal corporation organized and existing under the laws of the State of Florida, as Obligee, in the sum of _____ (\$ _____) Dollars, for which payment, well and truly to be made, we bind ourselves, our heirs, executors and successors, jointly and severally firmly by these presents.

WHEREAS, the Unified Land Development Code of the City of Lake Alfred (hereinafter the "ULDC") is by reference incorporated into and made part of this Performance Bond (hereinafter "Bond"); and

WHEREAS, the Principal has agreed to construct the dedicated improvements, improvements, infrastructure and other items described in the Engineer's Cost Estimate, attached hereto as Exhibit "A" and incorporated into and made part of this Bond (hereinafter "Improvements"), in the _____ platted subdivision, in accordance with the ULDC, drawings, plans, specifications, and other applicable data and information (hereinafter collectively referred to as the "Plans") filed with the City of Lake Alfred, which the Plans are by reference incorporated into and made part of this Bond by reference; and

WHEREAS, the ULDC requires the Principal to submit an instrument ensuring completion of construction of the Improvements.

NOW, THEREFORE, the conditions of this Bond are such that:

1. If the Principal shall well and truly perform the construction of the Improvements in the platted area known as _____ subdivision in accordance with the Plans and ULDC by _____, 20____ (the "Guaranty Period") and as verified by the City of Lake Alfred's Land Development Division, upon the written approval and acceptance by the Obligee by resolution of the City Commission of the City of Lake Alfred, this Bond shall be null and void. If the Improvements are not constructed by _____ or such later date the Obligee may approve, then this Bond shall be payable to the Obligee.
2. The Surety unconditionally covenants and agrees that if the Principal fails to perform all or any part of the Improvements within the time specified in Paragraph 1, above, the Surety, upon thirty (30) days written notice from the Obligee, or its authorized agent or officer, of the default, will forthwith perform and complete the Improvements and pay the cost thereof, including without limitation, engineering, legal, and contingent costs. Should the Surety fail or refuse to perform and complete the Improvements, the Obligee, in view of the public interest, health, safety and welfare factors involved and the inducement in approving and filing the plat for the above-referenced subdivision, shall have the right to

Initials _____

Page 1 of 3

resort to any and all legal remedies against the Principal and Surety, or either, both at law and in equity including specific performance, to which the Principal and Surety unconditionally agree.

3. The Principal and Surety further jointly and severally agree that the Obligee, at its option, shall have the right to construct, or caused to be constructed the Improvements in case the Principal should fail or refuse to do so. In the event the Obligee should exercise such right, the Principal and Surety shall be jointly and severally liable hereunder to reimburse the Obligee the total cost of, including without limitation, construction, design, engineering, legal costs and fees, and any contingent costs, together with any damages, either direct or consequential, which may be sustained on account of the failure of the Principal to complete all of the obligations for construction of the Improvements.
4. Applicable Law, Jurisdiction and Venue. This Performance Bond shall be governed by, construed under, and enforced in accordance with the laws of the State of Florida. Venue for any litigation pertaining to the subject matter hereof shall be exclusively in the Tenth Judicial Circuit in and for Polk County, Florida.
5. All notices, demands, and correspondence with respect to this Bond shall be in writing and addressed to:

The Surety at:

The Principal at:

The Obligee at:
City of Lake Alfred
120 E. Pomelo St.
Lake Alfred, FL 33850

[Signatures appear on the next page]

Initials _____

Page 2 of 3

IN WITNESS WHEREOF, the Principal and Surety have caused this Bond to be executed by their
duly authorized officers this _____ day of _____, 20____.

PRINCIPAL:

Witness

Name of Corporation

Printed Name

By: _____

Witness

Printed Name

Printed Name

Title:
(SEAL)

SURETY:

Witness

Name of Corporation

Printed Name

By: _____

Witness

Printed Name

Printed Name

Title:
(SEAL)

(attach power of attorney)

Initials

Page 3 of 3

ENGINEER'S ESTIMATE REMAINING WORK
Eden Hills Phase 2 Plat

7/21/2022

<u>Description</u>	<u>Quantity</u>	<u>Unit</u>	<u>Unit Price</u>	<u>Amount</u>
General Conditions				
Maintenance of Traffic	1.00	LS	\$	16,857.85
				Subtotal \$ 16,857.85
Paving				
1.5" SP12 Asphalt Pavement (FDOT)	750	SY	\$	9.52
6" Crushed Concrete Base	750	SY	\$	11.14
Miami Curb	300	LF	\$	11.42
Pavement & Marking Onsite	1	LS	\$	9,214.44
				Subtotal \$ 28,135.44
Offsite Paving				
Maintenance of Traffic	1	LS	\$	8,921.13
2.5" SP 9.5 Asphalt Pavement (FDOT)	435	SY	\$	22.68
8" Crushed Concrete Base	435	SY	\$	15.95
10" Stabilized Subgrade (LBR 40)	501	SY	\$	12.41
2.25" Stabilized Pavement Overlay	9605	SY	\$	14.80
8" Stabilized Shoulder	1404	LF	\$	28.37
Miami Curb	253	LF	\$	11.42
5' Concrete Sidewalk	7370	LF	\$	21.75
ADA Handicap Ramp	6	EA	\$	1,087.68
Offsite Striping & Signs	1	LS	\$	50,216.10
Bahia Sod	12,284	SY	\$	2.69
				Subtotal \$ 466,900.97
Water System				
Engineer's Water Certification	1	LS	\$	2,000.00
				Subtotal \$ 2,000.00
Sanitary Sewer System				
Engineer's Sewer Certification	1	LS	\$	2,000.00
				Subtotal \$ 2,000.00
MISC				
Engineer's Drainage Certification	1	LS	\$	2,500.00
Surveyor's Setting Lot corners	1	LS	\$	8,500.00
Landscaping & Irrigation (Includes Amenity Area)	1	LS	\$	502,840.50
Perimeter Fencing - (Includes Dog Park fencing)	1	LS	\$	266,722.50
				Subtotal \$ 780,563.00

Total Estimate \$ 1,296,457.26
20% Contingency \$ 259,291.45
Total Bond Amount \$ 1,555,748.71

John R. Bannon, P.E. 84128

Wood & Associates Engineering, LLC

1925 Bartow Rd, Lakeland, FL 33801



CERTIFICATION ON LAST PAGE
 STACY M. BUTTERFIELD
 CLERK OF THE CIRCUIT COURT

Eden Hills Subdivision Ph. 2
UNIT PRICE SCHEDULE OF VALUES - July 2022 Bidding

A	B	C	C1	C2	D	E	F	G	H	I	J	K
ITEM NO. (includes M&E Extension)	DESCRIPTION	SCHEDULED VALUE	QUANTITY	UNIT PRICE	PREVIOUSLY COMPLETED	COMPLETED THIS PERIOD (QUANTITY)	THIS PERIOD COSTS	MATERIALS PREVIOUSLY STORED	TOTAL STORED AND COMPLETED TO DATE	% COMPLETE	BALANCE TO FINISH	TOTAL RETAINAGE TO DATE
	SWPPP Monitoring (10-Months)	\$9,517.18	1,000	\$9,517.18	\$7,185.47	0.25	\$2,331.71		\$9,517.18	100.00%	\$0.00	\$475.86
	Mobilization	\$77,122.80	1,000	\$77,122.80	\$57,842.10	0.25	\$19,280.70		\$77,122.80	100.00%	\$0.00	\$3,856.14
	Payment And Performance Bond	\$62,982.28	1,000	\$62,982.28	\$62,982.28		\$0.00		\$62,982.28	100.00%	\$0.00	\$3,149.11
	Maintenance Of Traffic	\$25,737.18	1,000	\$25,737.18	\$3,731.89	0.20	\$5,147.44		\$8,879.33	34.50%	\$16,857.85	\$443.97
	Temporary Construction Entrance	\$9,297.08	2,000	\$4,648.54	\$9,297.08		\$0.00		\$9,297.08	100.00%	\$0.00	\$464.85
	Type III Silt Fence (Double Row at Wetlands)	\$30,707.40	25170.000	\$1.22	\$30,707.40		\$0.00		\$30,707.40	100.00%	\$0.00	\$1,335.37
	Modular Block Retaining Wall - Includes Handrail	\$134,123.10	3235.000	\$41.46	\$134,123.10		\$0.00		\$134,123.10	100.00%	\$0.00	\$6,706.16
	5' Concrete Sidewalk W/ Thickened Edge	\$13,990.97	343.000	\$40.79	\$0.00	343.00	\$13,990.97		\$13,990.97	100.00%	\$0.00	\$699.55
	5' Concrete Sidewalk	\$102,616.50	4718.000	\$21.75	\$0.00	4,718.00	\$102,616.50		\$102,616.50	100.00%	\$0.00	\$5,130.83
	ADA Handicap Ramp	\$34,805.76	32.000	\$1,087.68	\$0.00	32.00	\$34,805.76		\$34,805.76	100.00%	\$0.00	\$1,740.29
	Construction Layout	\$77,812.96	1,000	\$77,812.96	\$66,141.02	0.15	\$11,671.94		\$77,812.96	100.00%	\$0.00	\$3,890.65
	Construction As-Builts	\$54,166.88	1,000	\$54,166.88	\$32,500.13	0.40	\$21,666.75		\$54,166.88	100.00%	\$0.00	\$2,708.34
	Geotech	\$36,098.81	1,000	\$36,098.81	\$27,074.11	0.25	\$9,024.70		\$36,098.81	100.00%	\$0.00	\$1,804.94
	Cut Out Proposed Areas Using Cut Materials Placed and Compacted	\$382,858.72	1,000	\$382,858.72	\$382,858.72		\$0.00		\$382,858.72	100.00%	\$0.00	\$19,142.94
	Bahia Sod - 2' BOC	\$16,145.38	6002.000	\$2.69	\$0.00	6,002.00	\$16,145.38		\$16,145.38	100.00%	\$0.00	\$807.27
	Bahia Sod - Pond Side Slopes/ Swales	\$76,231.91	24339.000	\$2.69	\$26,900.00	18,339.00	\$49,331.91		\$76,231.91	100.00%	\$0.00	\$3,811.60
	Seed & Mulch - Pond Bottoms	\$19,821.22	32002.000	\$0.61	\$0.00	32,002.00	\$19,821.22		\$19,821.22	100.00%	\$0.00	\$976.06
	Seed & Mulch - Lots	\$142,525.44	296928.000	\$0.48	\$0.00	296,928.00	\$142,525.44		\$142,525.44	100.00%	\$0.00	\$7,125.27
	Final Grade	\$70,171.22	1,000	\$70,171.22	\$28,068.49	0.60	\$42,102.73		\$70,171.22	100.00%	\$0.00	\$3,508.55
	1.5" SP 12.5 Asphalt Pavement (FDOT)	\$389,720.24	40937.000	\$9.52	\$0.00	40,187.00	\$382,580.24		\$382,580.24	98.17%	\$7,140.00	\$19,129.01
	6" Crushed Concrete Base	\$456,038.18	40937.000	\$11.14	\$369,703.18	7,000.00	\$77,980.00		\$447,683.18	98.17%	\$8,355.00	\$22,384.16
	10" Stabilized Subgrade (LBR 40)	\$196,449.04	48626.000	\$4.04	\$196,449.04		\$0.00		\$196,449.04	100.00%	\$0.00	\$9,822.45
	10" Stabilized Subgrade (LBR 40) at Cut-de-sac & Grass Parking	\$7,021.52	1738.000	\$4.04	\$7,021.52		\$0.00		\$7,021.52	100.00%	\$0.00	\$351.08
	Valley Curb	\$8,606.15	367.000	\$23.45	\$0.00	367.00	\$8,606.15		\$8,606.15	100.00%	\$0.00	\$430.31
	Type D Curb	\$11,383.20	1080.000	\$10.54	\$0.00	1,080.00	\$11,383.20		\$11,383.20	100.00%	\$0.00	\$569.16
	Miami Curb	\$305,542.10	26755.000	\$11.42	\$302,116.10		\$0.00		\$302,116.10	98.88%	\$3,426.00	\$15,105.81
	8" Ribbon Curb	\$3,398.75	125.000	\$27.19	\$0.00	125.00	\$3,398.75		\$3,398.75	100.00%	\$0.00	\$169.94
	6" Thick Concrete Pavement	\$3,111.68	352.000	\$8.84	\$0.00	352.00	\$3,111.68		\$3,111.68	100.00%	\$0.00	\$155.58
	Pavement Markings Onsite	\$36,857.75	1,000	\$36,857.75	\$0.00	0.75	\$27,643.31		\$27,643.31	75.00%	\$9,214.44	\$1,382.17
	18" HP Storm Pipe	\$309,369.20	7050.000	\$43.82	\$309,369.20		\$0.00		\$309,369.20	100.00%	\$0.00	\$15,468.46

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CERTIFICATION ON EXHIBIT
STACY M. BUCHHEID
CLERK OF THE CIRCUIT COURT

Eden Hills Subdivision Ph 2
UNIT PRICE SCHEDULE OF VALUES - July 2022 Billing

A	B	C	C1	C2	D	E	F	G	H	I	J	K
ITEM NO. (Include MBE Extension)	DESCRIPTION	SCHEDULED VALUE	QUANTITY	UNIT PRICE	PREVIOUSLY COMPLETED	COMPLETED THIS PERIOD (QUANTITY)	THIS PERIOD COSTS	MATERIALS PRESENTLY STORED	TOTAL STORED AND COMPLETED TO DATE	% COMPLETE	BALANCE TO FINISH	TOTAL RETAINAGE TO DATE
24"	HP Storm Pipe	\$24,616.20	420.000	\$58.61	\$24,616.20		\$0.00		\$24,616.20	100.00%	\$0.00	\$1,230.81
24"	RCP Pipe	\$10,376.10	210.000	\$49.41	\$10,376.10		\$0.00		\$10,376.10	100.00%	\$0.00	\$518.81
14" x 23"	ERCP Storm Pipe	\$28,436.96	446.000	\$63.76	\$28,436.96		\$0.00		\$28,436.96	100.00%	\$0.00	\$1,421.85
Type V	Inlet	\$172,532.70	54.000	\$3,195.05	\$172,532.70		\$0.00		\$172,532.70	100.00%	\$0.00	\$6,626.64
Type P	Storm Manhole	\$24,322.40	10.000	\$2,432.24	\$24,322.40		\$0.00		\$24,322.40	100.00%	\$0.00	\$1,216.12
Type C	Inlet	\$9,776.58	6.000	\$1,629.43	\$9,776.58		\$0.00		\$9,776.58	100.00%	\$0.00	\$488.83
Type C	Control Structure W/ Skimmer	\$3,386.28	1.000	\$3,386.28	\$3,386.28		\$0.00		\$3,386.28	100.00%	\$0.00	\$169.31
Type D	Control Structure W/ Skimmer	\$4,673.23	1.000	\$4,673.23	\$4,673.23		\$0.00		\$4,673.23	100.00%	\$0.00	\$233.66
18"	HP Mitered End Section	\$12,180.56	14.000	\$870.04	\$12,180.56		\$0.00		\$12,180.56	100.00%	\$0.00	\$609.03
24"	HP Mitered End Section	\$3,970.28	4.000	\$992.57	\$3,970.28		\$0.00		\$3,970.28	100.00%	\$0.00	\$198.51
18"	RCP Mitered End Section	\$2,526.42	2.000	\$1,263.21	\$2,526.42		\$0.00		\$2,526.42	100.00%	\$0.00	\$126.32
	Dewatering for Storm Install	\$17,930.37	1.000	\$17,930.37	\$17,930.37		\$0.00		\$17,930.37	100.00%	\$0.00	\$896.52
	Light Clean & Video	\$36,289.71	1.000	\$36,289.71	\$29,031.77	0.20	\$7,257.94		\$36,289.71	100.00%	\$0.00	\$1,814.49
8"	SDR 26 Pipe W/ Type 8 Bedding	\$346,693.32	13548.000	\$25.59	\$346,693.32		\$0.00		\$346,693.32	100.00%	\$0.00	\$17,334.67
16"	Steel Casing Jack & Bore	\$52,252.00	100.000	\$522.52	\$52,252.00		\$0.00		\$52,252.00	100.00%	\$0.00	\$2,612.60
4"	Sanitary Manhole 0-6'	\$55,609.39	18.000	\$2,926.81	\$55,609.39		\$0.00		\$55,609.39	100.00%	\$0.00	\$2,780.47
4"	Sanitary Manhole 6-8'	\$34,486.90	10.000	\$3,448.69	\$34,486.90		\$0.00		\$34,486.90	100.00%	\$0.00	\$1,724.35
4"	Sanitary Manhole 8-10'	\$15,614.96	4.000	\$3,903.74	\$15,614.96		\$0.00		\$15,614.96	100.00%	\$0.00	\$780.75
4"	Sanitary Manhole 10-12'	\$18,651.48	4.000	\$4,662.87	\$18,651.48		\$0.00		\$18,651.48	100.00%	\$0.00	\$932.57
4"	Sanitary Manhole 12-14'	\$16,327.02	3.000	\$5,442.34	\$16,327.02		\$0.00		\$16,327.02	100.00%	\$0.00	\$816.35
4"	Sanitary Manhole 14-16'	\$42,550.83	7.000	\$6,078.69	\$42,550.83		\$0.00		\$42,550.83	100.00%	\$0.00	\$2,127.54
4"	Sanitary Manhole 16-18'	\$9,378.41	1.000	\$9,378.41	\$9,378.41		\$0.00		\$9,378.41	100.00%	\$0.00	\$468.92
4"	Sanitary Manhole 18-20'	\$78,419.84	64.000	\$1,225.31	\$78,419.84		\$0.00		\$78,419.84	100.00%	\$0.00	\$3,920.99
Single	Sanitary Service (Lake Alfred)	\$211,055.65	169.000	\$1,248.85	\$211,055.65		\$0.00		\$211,055.65	100.00%	\$0.00	\$10,552.78
Double	Sanitary Service (Lake Alfred)	\$52,998.83	1.000	\$52,998.83	\$42,399.06	0.20	\$10,599.77		\$52,998.83	100.00%	\$0.00	\$2,649.94
TV & Air	Testing - Gravity Line	\$59,893.00	1.000	\$59,893.00	\$59,893.00		\$0.00		\$59,893.00	100.00%	\$0.00	\$2,994.65
	Dewatering for Sanitary Install	\$85,676.29	1.000	\$85,676.29	\$85,676.29		\$0.00		\$85,676.29	100.00%	\$0.00	\$4,283.81
	Add Generator to Existing Lift Station	\$7,233.06	2.000	\$3,616.53	\$7,233.06		\$0.00		\$7,233.06	100.00%	\$0.00	\$361.65
8"	Core Connection to Existing Manhole & Repair Liner	\$14,858.97	3.000	\$4,952.99	\$14,858.97		\$0.00		\$14,858.97	100.00%	\$0.00	\$742.95
10" x 8"	Wet Tap W/ Valve/ Box/ Tag	\$420.21	1.000	\$420.21	\$420.21		\$0.00		\$420.21	100.00%	\$0.00	\$21.01
10"	MJ Longsleeve	\$165,748.24	7219.000	\$22.96	\$165,748.01		\$0.00		\$165,748.01	100.00%	\$0.23	\$8,287.40
6"	DR18 Water Pipe	\$134,536.23	4113.000	\$32.71	\$134,536.23		\$0.00		\$134,536.23	100.00%	\$0.00	\$6,726.81
8"	DR18 Water Pipe											

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Eden Hills Subdivision Ph. 2
 UNIT PRICE SCHEDULE OF VALUES - July 2022 Billing

A	B	C	C1	C2	D	E	F	G	H	I	J	K
ITEM NO. (Category Item)	DESCRIPTION	SCHEDULED VALUE	QUANTITY	UNIT PRICE	PREVIOUSLY COMPLETED	COMPLETED THIS PERIOD (QUANTITY)	THIS PERIOD COSTS	MATERIALS PRESENTLY STORED	TOTAL STORED AND COMPLETED TO DATE	% COMPLETE	BALANCE TO FINISH	TOTAL RETAINAGE TO DATE
	10" DR18 Water Pipe	\$148,724.52	3506.000	\$42.42	\$146,724.52		\$0.00		\$148,724.52	100.00%	\$0.00	\$7,436.23
	6" DIP Pipe	\$3,159.20	80.000	\$39.49	\$3,159.20		\$0.00		\$3,159.20	100.00%	\$0.00	\$157.96
	10" DIP Pipe	\$2,867.20	40.000	\$71.68	\$2,867.20		\$0.00		\$2,867.20	100.00%	\$0.00	\$143.36
	6" MJ Gate Valve W/ Box/ Tag	\$12,986.27	11.000	\$1,180.57	\$12,986.27		\$0.00		\$12,986.27	100.00%	\$0.00	\$649.31
	8" MJ Gate Valve W/ Box/ Tag	\$19,982.04	12.000	\$1,665.17	\$19,982.04		\$0.00		\$19,982.04	100.00%	\$0.00	\$999.10
	10" MJ Gate Valve W/ Box/ Tag	\$29,394.24	12.000	\$2,449.52	\$29,394.24		\$0.00		\$29,394.24	100.00%	\$0.00	\$1,469.71
	6" MJ Bend	\$13,875.50	50.000	\$277.51	\$13,875.50		\$0.00		\$13,875.50	100.00%	\$0.00	\$693.77
	8" MJ Bend	\$903.36	2.000	\$451.68	\$903.36		\$0.00		\$903.36	100.00%	\$0.00	\$45.17
	10" MJ Bend	\$10,427.97	17.000	\$613.41	\$10,427.97		\$0.00		\$10,427.97	100.00%	\$0.00	\$521.40
	6" MJ Tee	\$3,880.08	8.000	\$485.01	\$3,880.08		\$0.00		\$3,880.08	100.00%	\$0.00	\$194.00
	8" MJ Tee	\$1,846.44	3.000	\$615.48	\$1,846.44		\$0.00		\$1,846.44	100.00%	\$0.00	\$92.32
	8" x 6" MJ Tee	\$4,472.72	8.000	\$559.09	\$4,472.72		\$0.00		\$4,472.72	100.00%	\$0.00	\$223.64
	10" MJ Tee	\$3,860.80	4.000	\$965.20	\$3,860.80		\$0.00		\$3,860.80	100.00%	\$0.00	\$193.04
	10" x 6" MJ Tee	\$4,869.24	6.000	\$811.54	\$4,869.24		\$0.00		\$4,869.24	100.00%	\$0.00	\$243.46
	8" x 6" MJ Reducer	\$304.41	1.000	\$304.41	\$304.41		\$0.00		\$304.41	100.00%	\$0.00	\$15.22
	10" x 6" MJ Reducer	\$1,413.57	3.000	\$471.19	\$1,413.57		\$0.00		\$1,413.57	100.00%	\$0.00	\$70.68
	10" MJ PVC - DIP Coupler	\$1,340.96	4.000	\$335.24	\$1,340.96		\$0.00		\$1,340.96	100.00%	\$0.00	\$67.05
	Fire Hydrant Assembly	\$79,024.95	15.000	\$5,268.33	\$79,024.95		\$0.00		\$79,024.95	100.00%	\$0.00	\$3,951.25
	Blowoff Assembly	\$1,770.19	1.000	\$1,770.19	\$1,770.19		\$0.00		\$1,770.19	100.00%	\$0.00	\$88.51
	Single - Short Water Service (Lake Alfred)	\$32,797.99	53.000	\$618.83	\$32,797.99		\$0.00		\$32,797.99	100.00%	\$0.00	\$1,639.90
	Single - Long Water Service (Lake Alfred)	\$24,217.38	27.000	\$896.94	\$24,217.38		\$0.00		\$24,217.38	100.00%	\$0.00	\$1,210.87
	Double - Short Water Service (Lake Alfred)	\$97,295.58	87.000	\$1,118.34	\$97,295.58		\$0.00		\$97,295.58	100.00%	\$0.00	\$4,864.78
	Double - Long Water Service (Lake Alfred)	\$103,470.50	74.000	\$1,398.25	\$103,470.50		\$0.00		\$103,470.50	100.00%	\$0.00	\$5,173.53
	Single - Water Service (Lake Alfred) - Lift Station, Open Tracts, & Amenity C	\$3,707.76	6.000	\$617.96	\$3,707.76		\$0.00		\$3,707.76	100.00%	\$0.00	\$185.39
	Poly Pig Water Main	\$4,078.79	1.000	\$4,078.79	\$4,078.79		\$0.00		\$4,078.79	100.00%	\$0.00	\$203.94
	Testing & Bactees	\$15,553.25	1.000	\$15,553.25	\$15,553.25	0.50	\$7,776.63		\$15,553.25	100.00%	\$0.00	\$777.66
	4" SCH 40 Irrigation Sleeves	\$1,437.00	130.000	\$9.58	\$1,437.00		\$0.00		\$1,437.00	100.00%	\$0.00	\$71.85
	10" DR18 Water Pipe	\$6,729.04	152.000	\$44.27	\$6,729.04		\$0.00		\$6,729.04	100.00%	\$0.00	\$336.45
	10" x 8" MJ Reducer	\$502.15	1.000	\$502.15	\$502.15		\$0.00		\$502.15	100.00%	\$0.00	\$25.11
	10" x 6" MJ Reducer	\$471.19	1.000	\$471.19	\$471.19		\$0.00		\$471.19	100.00%	\$0.00	\$23.56
	Maintenance Of Traffic	\$8,921.13	1.000	\$8,921.13	\$0.00		\$0.00		\$0.00	0.00%	\$8,921.13	\$0.00
	2.5" SP 9.5 Asphalt Pavement (FDOT)	\$9,865.80	435.000	\$22.68	\$0.00		\$0.00		\$0.00	0.00%	\$9,865.80	\$0.00

Eden Hills Subdivision Ph 2
UNIT PRICE SCHEDULE OF VALUES - July 2022 Bidding

A	B	C	C1	C2	D	E	F	G	H	I	J	K
ITEM NO. (Include NBE Extensions)	DESCRIPTION	SCHEDULED VALUE	QUANTITY	UNIT PRICE	PREVIOUSLY COMPLETED	COMPLETED THIS PERIOD (QUANTITY)	THIS PERIOD COSTS	MATERIALS PRESENTLY STORED	TOTAL STORED AND COMPLETED TO DATE	% COMPLETE	BALANCE TO FINISH	TOTAL RETAINAGE TO DATE
	8" Crushed Concrete Base	\$6,938.25	435.000	\$15.95	\$0.00		\$0.00		\$0.00	0.00%	\$6,938.25	\$0.00
	10" Stabilized Subgrade (LBR 40) - Full Depth Rock	\$6,217.41	501.000	\$12.41	\$0.00		\$0.00		\$0.00	0.00%	\$6,217.41	\$0.00
	2.25" SP 9.5 Asphalt Pavement Overlay (PDOT)	\$142,154.00	9605.000	\$14.80	\$0.00		\$0.00		\$0.00	0.00%	\$142,154.00	\$0.00
	8" Stabilized Shoulder	\$39,831.48	1404.000	\$28.37	\$0.00		\$0.00		\$0.00	0.00%	\$39,831.48	\$0.00
	Miami Curb	\$2,889.26	253.000	\$11.42	\$0.00		\$0.00		\$0.00	0.00%	\$2,889.26	\$0.00
	5' Concrete Sidewalk	\$160,297.50	7370.000	\$21.75	\$0.00		\$0.00		\$0.00	0.00%	\$160,297.50	\$0.00
	ADA Handicap Ramp	\$6,526.08	6.000	\$1,087.68	\$0.00		\$0.00		\$0.00	0.00%	\$6,526.08	\$0.00
	Offsite Striping & Signs	\$50,216.10	1.000	\$50,216.10	\$0.00		\$0.00		\$0.00	0.00%	\$50,216.10	\$0.00
	Batha Sod	\$33,043.96	12284.000	\$2.69	\$0.00		\$0.00		\$0.00	0.00%	\$33,043.96	\$0.00
	CO #001 - Core & Main DPO	\$-829,212.57	1.000	\$-829,212.57	\$-829,212.57		\$0.00		\$-829,212.57	100.00%	\$0.00	\$-41,460.63
	CO #002 - Mack Concrete DPO	\$-231,294.41	1.000	\$-231,294.41	\$-231,294.41		\$0.00		\$-231,294.41	100.00%	\$0.00	\$-11,564.72
	CO #003 - Clearing Cost Added Back to Contract	\$114,118.33	1.000	\$114,118.33	\$114,118.33		\$0.00		\$114,118.33	100.00%	\$0.00	\$5,705.92
	CO #004 - IFC Plans Dated 11-15-21	\$382,983.12	1.000	\$382,983.12	\$224,293.92	0.40	\$152,464.94		\$376,758.86	98.37%	\$6,224.26	\$18,837.94
	CO #007 - Core & Main DPO Closeout CO	\$-102,209.72	1.000	\$-102,209.72	\$-102,209.72		\$0.00		\$-102,209.72	100.00%	\$0.00	\$-5,110.49
	CO #005 - Remediation Work	\$19,612.12	1.000	\$19,612.12	\$19,612.12		\$0.00		\$19,612.12	100.00%	\$0.00	\$580.61
	CO #006 - Revised IFC Plans Dated 2-24-22	\$140,191.56	1.000	\$140,191.56	\$140,191.56		\$0.00		\$140,191.56	100.00%	\$0.00	\$7,009.58
	COR #011 - Revised IFC Plans Material Price Increases	\$85,234.49	1.000	\$85,234.49	\$0.00		\$0.00		\$0.00	0.00%	\$85,234.49	\$0.00
	COR #008 - Irrigation Sleeves CO	\$17,142.82	1.000	\$17,142.82	\$17,142.82		\$0.00		\$17,142.82	100.00%	\$0.00	\$857.14
	COR #013 - TECO Electrical Sleeves CO	\$40,069.49	1.000	\$40,069.49	\$40,069.49		\$0.00		\$40,069.49	100.00%	\$0.00	\$2,003.47
	CO #018 - Mack Concrete DPO Closeout CO	\$-112,357.43	1.000	\$-112,357.43	\$-112,357.43		\$0.00		\$-112,357.43	100.00%	\$0.00	\$-617.87
	COR #017 - Water Directional Bore	\$9,831.26	1.000	\$9,831.26	\$0.00	1.00	\$9,831.26		\$9,831.26	100.00%	\$0.00	\$491.56
	COR #018 - Dock Survey	\$1,122.00	1.000	\$1,122.00	\$0.00	1.00	\$1,122.00		\$1,122.00	100.00%	\$0.00	\$56.10
	COR #019 TECO Survey	\$7,810.00	1.000	\$7,810.00	\$0.00	1.00	\$7,810.00		\$7,810.00	100.00%	\$0.00	\$390.58
					\$0.00		\$0.00		\$0.00	#DIV/0!	\$0.00	\$0.00
					\$3,797,577.07		\$1,201,728.02	\$0.00	\$4,999,306.10		\$603,353.24	\$249,965.30
	TOTALS	\$5,602,659.32										

Page 6 of 4

Exhibit "C"

Resolution 14-22

EASEMENT
EDEN HILLS PHASE II

Prepared by:
Mark W. Mangan
Straughn & Turner, P.A.
255 Magnolia Ave SW
Winter Haven, FL 33880

EASEMENT

THIS EASEMENT made this 18th day of August, 2022, between LUCERNE PARK INVESTMENT, LLC, a Florida limited liability company as the Grantor, and the CITY OF LAKE ALFRED, a municipal corporation under the laws of the State of Florida, its post office address being 120 E Pomelo Street, Lake Alfred, Florida, as the Grantee.

WITNESSETH: That the Grantor, in consideration of the sum of Ten Dollars and zero cents (\$10.00); and other good and valuable consideration, the receipt of which is hereby acknowledged by Grantor, hereby grants unto the Grantee, its successors and assigns, a perpetual fifteen (15) foot easement to access, install, operate, and maintain water, waste water, and re-claimed water utility line(s) and related infrastructure and/or facilities in, under, over, upon and through the property and for the purposes of ingress, egress, construction, maintenance, use, and/or repair(s) of and/or for water, waste water, and re-claimed water utility services infrastructure and/or facilities, including doing such work and repair as may be necessary in, under, over, under, upon and/or through the following described land in Polk County, Florida, to wit:

SEE EXHIBIT "A"

The easement includes and reserves unto the Grantee ingress and egress in, over, under, upon and through Exhibit "A" (hereafter the "Property") as may be necessary for the purposes set forth herein which includes, but shall not be limited to, the provision of water, waste water, re-claimed water utility services, including doing such work and repair as may be necessary underground and under the surface of the Property.

Grantor shall not place any landscaping, fences, structures or other obstructions within this easement that would in any way hinder the access or operation and maintenance of the utilities within the easement.

The Grantor covenants with the Grantee that it is lawfully seized and/or is a duly authorized representative of said lands and that it has good, right and lawful authority to grant this easement.

This Easement shall terminate by operation of law, without the need for any further action(s) and/or recorded instrument upon the recordation of the Eden Hills Phase 2 plat in the Public Records of Polk County, Florida, that includes a dedication of roads or rights-of-way located on the Property, which provide ingress to and egress from the utilities, utility lines for all services to the Property and for required drainage and retention.

The Grantor and Grantee acknowledge and represent that, in the event of a mistake by one or both parties to this easement as to the identity, situation, boundary, title, amount, or value of the easement set forth herein and conveyed, any such mistake shall be considered mutual and equity will reform this easement in order to conform to the intent of Grantor and Grantee as if the mistake did not occur.

IN WITNESS WHEREOF the Grantor has hereunto set his/her/their hand and seal on the day and year first above written.

LUCERNE PARK INVESTMENT, LLC, a
Florida limited liability company

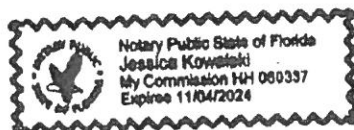
Signed, sealed and delivered
in our presence as witnesses:

[Signature]
Signature of Witness
Jessica Kowalski
Printed Name of Witness
[Signature]
Signature of Witness
Bobbie Henley
Printed Name of Witness

[Signature]
ALBERT S. CASSIDY, as Manager

STATE OF Florida
COUNTY OF Polk

The foregoing instrument was acknowledged before me by means of ☒ physical presence or
☐ online notarization this 18th day of August, 2022, by ALBERT S. CASSIDY,
as Manager of Lucerne Park Investment, LLC, a Florida limited liability company, who are
personally known to me or who have produced a _____ as identification and
who did not take an oath



[Signature]
Notary Public
Print Notary Name: Jessica Kowalski
My Commission Expires: 11/4/2024

EXHIBIT A

LEGAL DESCRIPTION
NEW "OFF-SITE" 15.00' PUBLIC UTILITY EASEMENT FOR PROPOSED "EDEN HILLS
PHASE 2" SUBDIVISION
(NOT COMPLETE WITHOUT PAGE 2 OF 2)

A PERPETUAL "OFFSITE" 15.00 FEET WIDE PUBLIC UTILITY EASEMENT OVER, UNDER AND ACROSS THAT PART OF THE SOUTH ¼ OF THE SOUTHWEST ¼ OF SECTION 20, TOWNSHIP 27 SOUTH, RANGE 26 EAST, POLK COUNTY, FLORIDA, DESCRIBED AS:

COMMENCE AT THE NORTHWEST CORNER OF THE SOUTH ¼ OF THE SOUTHWEST ¼ OF SAID SECTION 20, AND RUN THENCE ALONG THE NORTH LINE THEREOF, S-89°59'30"-E, 999.10 FEET; THENCE DEPARTING SAID NORTH LINE, S-00°00'30"-W, 9.85 FEET TO THE POINT OF BEGINNING, SAID POINT LIES ON THE SOUTH MAINTAINED RIGHT-OF-WAY OF OLD LAKE ALFRED ROAD AS SHOWN IN MAP BOOK 2, PAGES 323 TO 327 (INCLUSIVE) AND OFFICIAL RECORDS BOOK 7794, PAGES 986 TO 1002 (INCLUSIVE) ALL IN THE PUBLIC RECORDS OF POLK COUNTY, FLORIDA; THENCE ALONG SAID SOUTH RIGHT-OF-WAY, S-89°08'43"-E, 15.00 FEET; THENCE DEPARTING SAID SOUTH RIGHT-OF-WAY, S-00°03'05"-E, 192.22 FEET TO A POINT OF CURVE CONCAVE EASTERLY; THENCE SOUTHEASTERLY ALONG SAID CURVE HAVING A RADIUS OF 225.00 FEET, A CENTRAL ANGLE/DELTA OF 33°35'30", A CHORD BEARING OF S-16°50'57"-E, A CHORD DISTANCE OF 130.03 FEET, FOR AN ARC LENGTH OF 131.91 FEET TO A POINT OF REVERSE CURVE CONCAVE SOUTHWESTERLY; THENCE SOUTHEASTERLY ALONG SAID CURVE HAVING A RADIUS OF 90.00 FEET, A CENTRAL ANGLE/DELTA OF 33°35'30", A CHORD BEARING OF S-16°50'57"-E, A CHORD DISTANCE OF 52.01 FEET, FOR AN ARC LENGTH OF 52.77 FEET; THENCE S-00°03'12"-E, 256.64 FEET; THENCE S-89°56'48"-W, 15.00 FEET; THENCE N-00°03'12"-W, 256.64 FEET TO A POINT OF CURVE CONCAVE WESTERLY; THENCE NORTHWESTERLY ALONG SAID CURVE HAVING A RADIUS OF 75.00 FEET, A CENTRAL ANGLE/DELTA OF 33°35'30", A CHORD BEARING OF N-16°50'57"-W, A CHORD DISTANCE OF 43.34 FEET, FOR AN ARC LENGTH OF 43.97 FEET TO A POINT OF REVERSE CURVE CONCAVE NORTHEASTERLY; THENCE NORTHWESTERLY ALONG SAID CURVE HAVING A RADIUS OF 240.00 FEET, A CENTRAL ANGLE/DELTA OF 33°35'30", A CHORD BEARING OF N-16°50'57"-W, A CHORD DISTANCE OF 138.70 FEET, FOR AN ARC LENGTH OF 140.71 FEET; THENCE N-00°03'05"-W, 192.45 FEET TO THE POINT OF BEGINNING.

CONTAINING: 9,505 SQUARE FEET, 0.218 ACRE, MORE OR LESS.

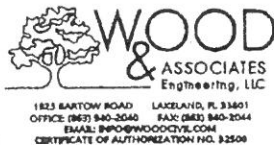


EXHIBIT A

LEGAL DESCRIPTION
(NOT A SURVEY - NOT COMPLETE WITHOUT PAGE 2 OF 2)

EXHIBIT A CONSISTS OF TWO (2) PAGES,
AND IS NOT COMPLETE WITHOUT ALL PAGES

PAGE 1 OF 2

Stacy M. Butterfield POLK

CFN# 2022232849 OR BK 12394 PG 1480 Pgs 1478-1481 08/26/2022 09:13:22 AM



INSTR # 2022260081
BK 194 Pgs 24-41 PG(s)18
RECORDED 09/26/2022 03:00:01 PM
STACY M. BUTTERFIELD, CLERK OF COURT
POLK COUNTY
RECORDING FEES \$285.00
RECORDED BY shakcamp

Plat Name: Eden Hills Phase 2

Section 19 & 20
Township 27 South
Range 26 East

STATE OF FLORIDA
COUNTY OF POLK

FILED FOR RECORD this 26th day of September 2022

Recorded in Plat Book: **194**
Page(s) ----- **24-41**

Record verified 9/26/2022

Stacy M. Butterfield
Clerk of Circuit Court

By: *Stephanie May*
Stephanie May
Deputy Clerk



PLAYBOOK 194 **PAGE** 25
SHEET 2 OF 18

NOTES AND LEGEND

[illegible]MORTGAGE APPROVAL (MAY 1992) (OR 12/17, PG 1422)
STATE OF Florida
COUNTY OF Alachua

KNOW ALL MEN BY THESE PRESENTS THAT MR. INC., A VIRGINIA CORPORATION, MORTGAGEES OF THE LANDS SHOWN HEREON DOES HEREBY CONSENT TO AND JOIN WITH THE OWNER'S DEDICATION AS STATED HEREON.

Dargone m/t h/e
WRITINGS
PRINTED name: Dargone m/t h/e

Ketner
WRITINGS
PRINTED name: Ketner

MR. MC
A VENTURE-OPPORTUNITY
BY: [Signature]
FORWARD: [Signature]
TITLE: [Signature]

SEATTLE BOOKS & ARTS
 "Memory Booklet - Signs of
 Cancer Before It Hits You"
 by Carole, Beverly, Jay
 Request for single volumes being
 processed.

RECEIVED _____
JANUARY 1972
HOLWAY PUBLIC
PRINTED NAME: W. H. H. H.

As _____

MORTGAGEE APPROVAL, A COXWOLD LIMITED PARTNERSHIP (OR 12/56, PG 18/8)

COUNTY OF ESSEX

Gard Steinhilber

NOTED SS
PROBATED NAME: *Gard Steinhilber*

Lorenz Fickler

NOTED SS
PROBATED NAME: *Lorenz Fickler*

FORWARD AMERICAN HOUSE OF FLORIDA
A COLONY LIMITED PARTNERSHIP, ITS
GENERAL PARTNER

THE COLLEGE OF THE SOUTHERN
SOUTHERN
Southern Public House of the
Lumber & Rigging
My Construction and
Export 602-2018

I hereby certify that the above is a true and correct copy of the original as submitted to me for filing.
 Notary Public
 My Comm. Expires 8-22-2016

STATE OF FLORIDA
COUNTY OF ORANGE

LIABILITY COMPANY, MORTGAGES OF THE LANDS SHOWN HEREON DOES HEREBY CONSENT TO AND JOIN WITH THE OWNER'S DECLARATION AS STATED HEREON.

WITNESS: Steven Thompson
 WITNESS: Lindsey Fiedler
 WITNESS: Lindsey Rottner

A FLORIDA LIMITED LIABILITY COMPANY

Dr

PAID TO: Dr. [illegible]
DATE: Nov 19, 2011

Survey People Share
 Laidlaw & Hay
 My Communion is
 Expires 6/22/21

LIBRARY PUBLIC
PRINTED NAME: London E F
8-22-2004

E. Boden

RECEIVED THIS DAY OF September, 2022, BY (NAME OF
HOLDERS) AS Vice President (TITLE OF OFFICER)
A REMAINING CORPORATION ON BEHALF OF THE COMPANY, WHO IS
TO BE OR WAS INCORPORATED IN

[illegible]

Alaska

7

③ we Lindsey Boston
 ④ we Philip Alaska

NAME: Walter K. Hall
CITY: Chattanooga

with discussion open to the lands described in this plan, established pursuant to the 1961 Florida Statutes for perpetual ownership and maintenance, neither accepts nor disavows any responsibility for maintenance of the trust's infrastructure associated with the dedications.

EDEN HILLS COMMUNITY
DEVELOPMENT DISTRICT

History & Public Space at Farnham

Landman, E. P.

NOTICE:

OF THE SHADHOED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLEMENTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT.

THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

FLOOD HAZARD WARNING:

THIS PROPERTY MAY BE SUBJECT TO FLOODING. YOU WILL BE FLOODING THE CITY OF LOS ANGELES AND OBTAIN THE LARGEST AMOUNTAL LOSS FOR FLOOD DAMAGE AND RESTITUTION BEFORE HAVING REASON FOR THE LOSS OF THIS PROPERTY. EVEN AFTER THE PROPERTY, STATE OR LOCAL DISASTROUS LOSS AND DAMAGE THAT ANY DAMAGE-CAUSERS SUCH AS STRUCTURES, DEVICES, TOOLS, SERVICES, DAMAGE, CITIES, AND WATER WOULD STRIKE THE CITY OF LOS ANGELES IN CERTAIN AREAS.

WETLANDS AREA NOTE

THE LANDS AREA SHALL REMAIN IN ITS NATURAL STATE, BUT WILL BE OPEN TO THE PUBLIC FOR RECREATION AND EDUCATIONAL PURPOSES. NO OTHER DEVELOPMENT OR CONSTRUCTION SHALL BE PERMITTED ON THE LANDS AREA WITHOUT THE WRITTEN APPROVAL OF THE BOARD OF SUPERVISORS. THE LANDS AREA SHALL NOT BE USED FOR ANY PURPOSE OTHER THAN THAT FOR WHICH IT WAS ACQUIRED UNLESS PERMITTED BY THE SUPERVISOR OF LANDS MANAGEMENT SERVICES, OR ITS SUCCESSOR AGENCY.

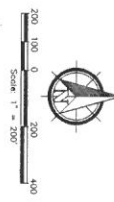
TRACT USAGE TABLE

[illegible][illegible]

CURRENT ZONING OF LANDS BEING PLATTED

WRN AND CN

PLAYBOOK 104 **PAGE** 26
SHEET 3 OF 18

[illegible]

TRACT USAGE TABLE

TRACTS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 83

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PENNONI ASSOCIATES INC.
401 Third Street SW
Winter Haven, FL 33890
T 863.324.1112 F 863.294.6185
COA #00007819 LB #6126

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SHEET 4 OF 18

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[illegible]

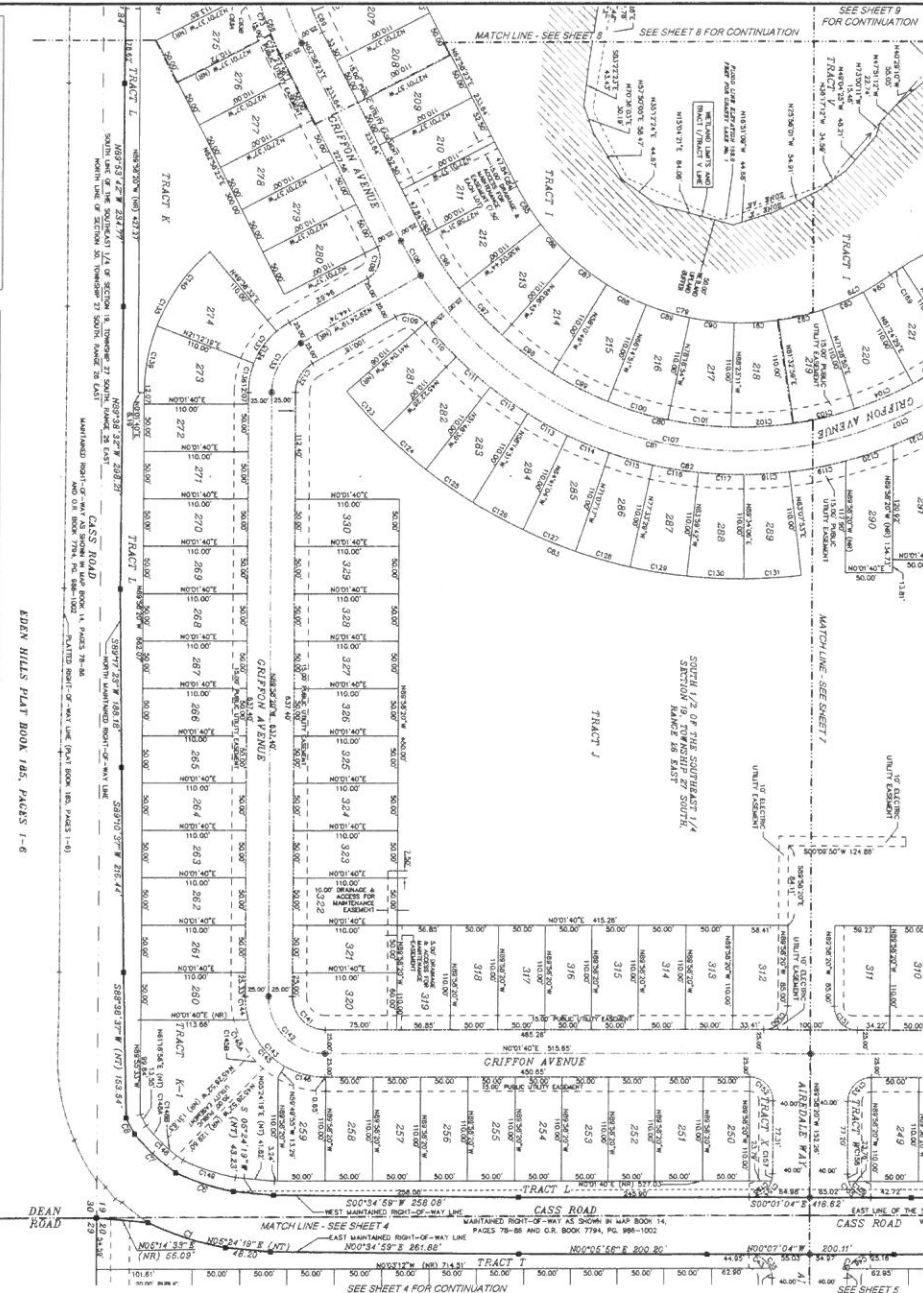
PENNONI ASSOCIATES INC.
401 Third Street SW
Winter Haven, FL 33880
T 863.324.1112 F 863.294.6
COA #00007819 LB #8126

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NOTICE:

THIS PLAT, AS RECORDED IN ITS GRANTING RECORD, IS THE OFFICIAL VERSION OF THE GRANTING RECORD. ANY OTHER VERSIONS, INCLUDING ANY REVISIONS, AMENDMENTS, SUPPLEMENTS, OR ANY OTHER VERSIONS, SHALL BE VOID AND OF NO EFFECT. ANY PERSONS THAT ARE NOT RECORDED ON THIS PLAT MAY NOT BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

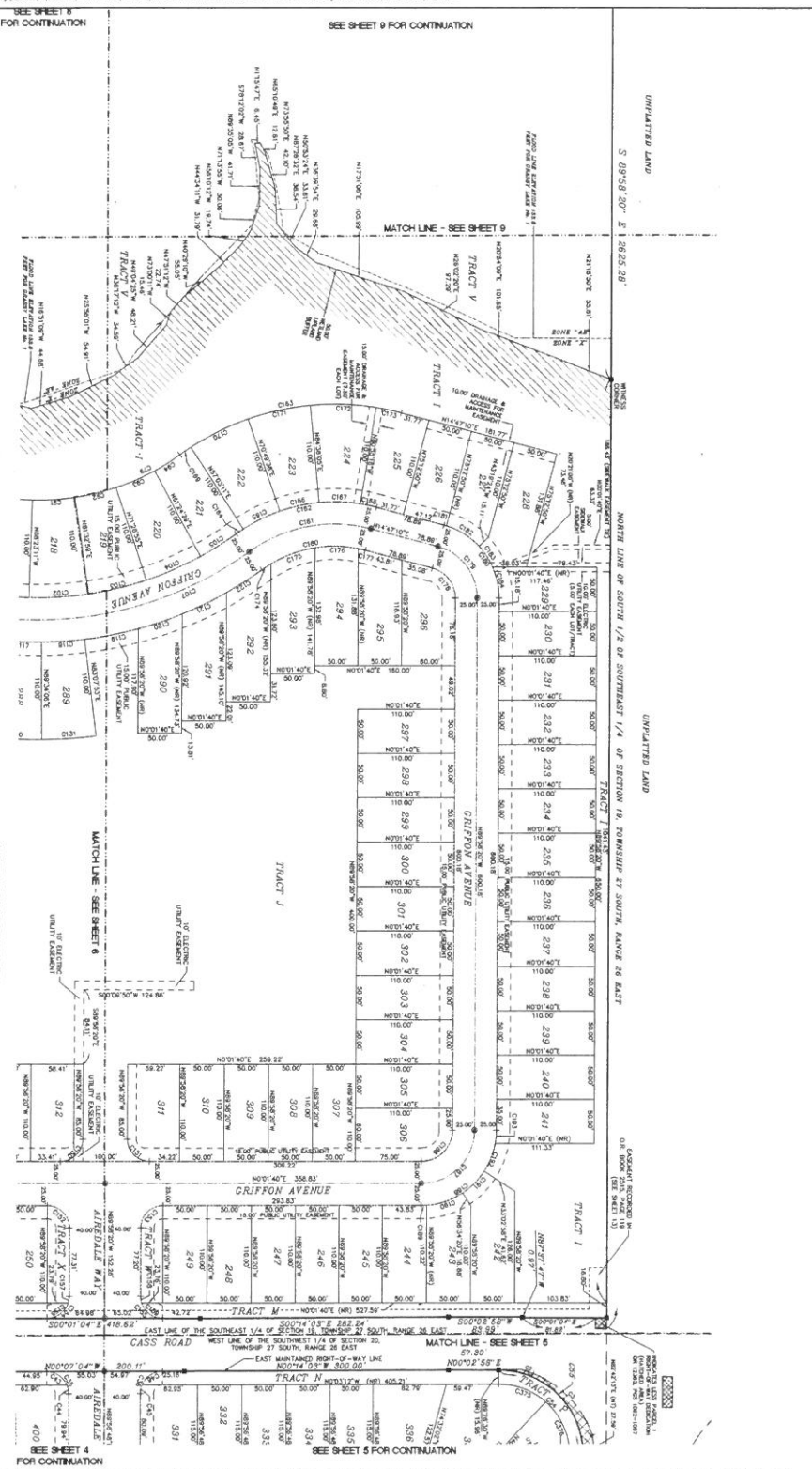
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EDEN HILLS PHASE 2

SECTIONS 19 AND 20, TOWNSHIP 27 SOUTH, RANGE 26 EAST, CITY OF LAKE ALFRED, POLK COUNTY, FLORIDA

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- ### NOTES AND LEGEND
- 1. THIS PLAT IS A PRELIMINARY PLAT AND IS NOT TO BE USED FOR ANY PURPOSES OTHER THAN FOR THE PURPOSES OF THE CITY OF LAKE ALFRED.
 - 2. THE CITY OF LAKE ALFRED HAS REVIEWED THIS PLAT AND HAS DETERMINED THAT IT COMPLIES WITH THE REQUIREMENTS OF THE FLORIDA PLAT ACT.
 - 3. THE CITY OF LAKE ALFRED HAS REVIEWED THIS PLAT AND HAS DETERMINED THAT IT COMPLIES WITH THE REQUIREMENTS OF THE FLORIDA PLAT ACT.
 - 4. THE CITY OF LAKE ALFRED HAS REVIEWED THIS PLAT AND HAS DETERMINED THAT IT COMPLIES WITH THE REQUIREMENTS OF THE FLORIDA PLAT ACT.
 - 5. THE CITY OF LAKE ALFRED HAS REVIEWED THIS PLAT AND HAS DETERMINED THAT IT COMPLIES WITH THE REQUIREMENTS OF THE FLORIDA PLAT ACT.
 - 6. THE CITY OF LAKE ALFRED HAS REVIEWED THIS PLAT AND HAS DETERMINED THAT IT COMPLIES WITH THE REQUIREMENTS OF THE FLORIDA PLAT ACT.
 - 7. THE CITY OF LAKE ALFRED HAS REVIEWED THIS PLAT AND HAS DETERMINED THAT IT COMPLIES WITH THE REQUIREMENTS OF THE FLORIDA PLAT ACT.
 - 8. THE CITY OF LAKE ALFRED HAS REVIEWED THIS PLAT AND HAS DETERMINED THAT IT COMPLIES WITH THE REQUIREMENTS OF THE FLORIDA PLAT ACT.
 - 9. THE CITY OF LAKE ALFRED HAS REVIEWED THIS PLAT AND HAS DETERMINED THAT IT COMPLIES WITH THE REQUIREMENTS OF THE FLORIDA PLAT ACT.
 - 10. THE CITY OF LAKE ALFRED HAS REVIEWED THIS PLAT AND HAS DETERMINED THAT IT COMPLIES WITH THE REQUIREMENTS OF THE FLORIDA PLAT ACT.



TRACT USAGE TABLE

TRACT 1: RESIDENTIAL (SINGLE-FAMILY)
TRACT 2: RESIDENTIAL (SINGLE-FAMILY)
TRACT 3: RESIDENTIAL (SINGLE-FAMILY)
TRACT 4: RESIDENTIAL (SINGLE-FAMILY)
TRACT 5: RESIDENTIAL (SINGLE-FAMILY)
TRACT 6: RESIDENTIAL (SINGLE-FAMILY)
TRACT 7: RESIDENTIAL (SINGLE-FAMILY)
TRACT 8: RESIDENTIAL (SINGLE-FAMILY)
TRACT 9: RESIDENTIAL (SINGLE-FAMILY)
TRACT 10: RESIDENTIAL (SINGLE-FAMILY)
TRACT 11: RESIDENTIAL (SINGLE-FAMILY)
TRACT 12: RESIDENTIAL (SINGLE-FAMILY)
TRACT 13: RESIDENTIAL (SINGLE-FAMILY)
TRACT 14: RESIDENTIAL (SINGLE-FAMILY)
TRACT 15: RESIDENTIAL (SINGLE-FAMILY)
TRACT 16: RESIDENTIAL (SINGLE-FAMILY)
TRACT 17: RESIDENTIAL (SINGLE-FAMILY)
TRACT 18: RESIDENTIAL (SINGLE-FAMILY)
TRACT 19: RESIDENTIAL (SINGLE-FAMILY)
TRACT 20: RESIDENTIAL (SINGLE-FAMILY)

NOTES

1. THE CITY OF LAKE ALFRED HAS REVIEWED THIS PLAT AND HAS DETERMINED THAT IT COMPLIES WITH THE REQUIREMENTS OF THE FLORIDA PLAT ACT.

WETLANDS AREA NOTE

1. THE CITY OF LAKE ALFRED HAS REVIEWED THIS PLAT AND HAS DETERMINED THAT IT COMPLIES WITH THE REQUIREMENTS OF THE FLORIDA PLAT ACT.

FLOOD HAZARD WARNING

1. THE CITY OF LAKE ALFRED HAS REVIEWED THIS PLAT AND HAS DETERMINED THAT IT COMPLIES WITH THE REQUIREMENTS OF THE FLORIDA PLAT ACT.

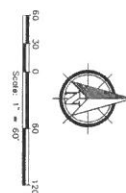
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1	4	1.00	John Doe	123 Main St	555-1234
1	5	1.00	John Doe	123 Main St	555-1234
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1	99	1.00	John Doe	123 Main St	555-1234
1	100	1.00	John Doe	123 Main St	555-1234

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PENNONI ASSOCIATES INC.
401 Third Street SW
Winter Haven, FL 33880
T 863 324.1112 F 863 294.5185
COA #00007819 LB #8126

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NOTICE: THE PLAT AS RECORDED IN ITS GRADING PLANS IS THE OFFICIAL DEFINITION OF THE PLAT. ANY CHANGES TO THE PLAT MUST BE MADE BY THE GRADING CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR THE ACCURACY OF THE PLAT. THE PLAT MAY BE RECORDED IN THE PUBLIC RECORDS OF THE COUNTY.

FLOOD HAZARD WARNING:

ANDREAS ARNETT AND LYNARD BARNETT

Pennoni

PENNONI ASSOCIATES INC.
401 Third Street SW
Winter Haven, FL 33850
T 863 324 1112 F 863 254 6545
COA #00007819 LG REG 128

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TRACT USAGE TABLE	
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CONTAMINATION

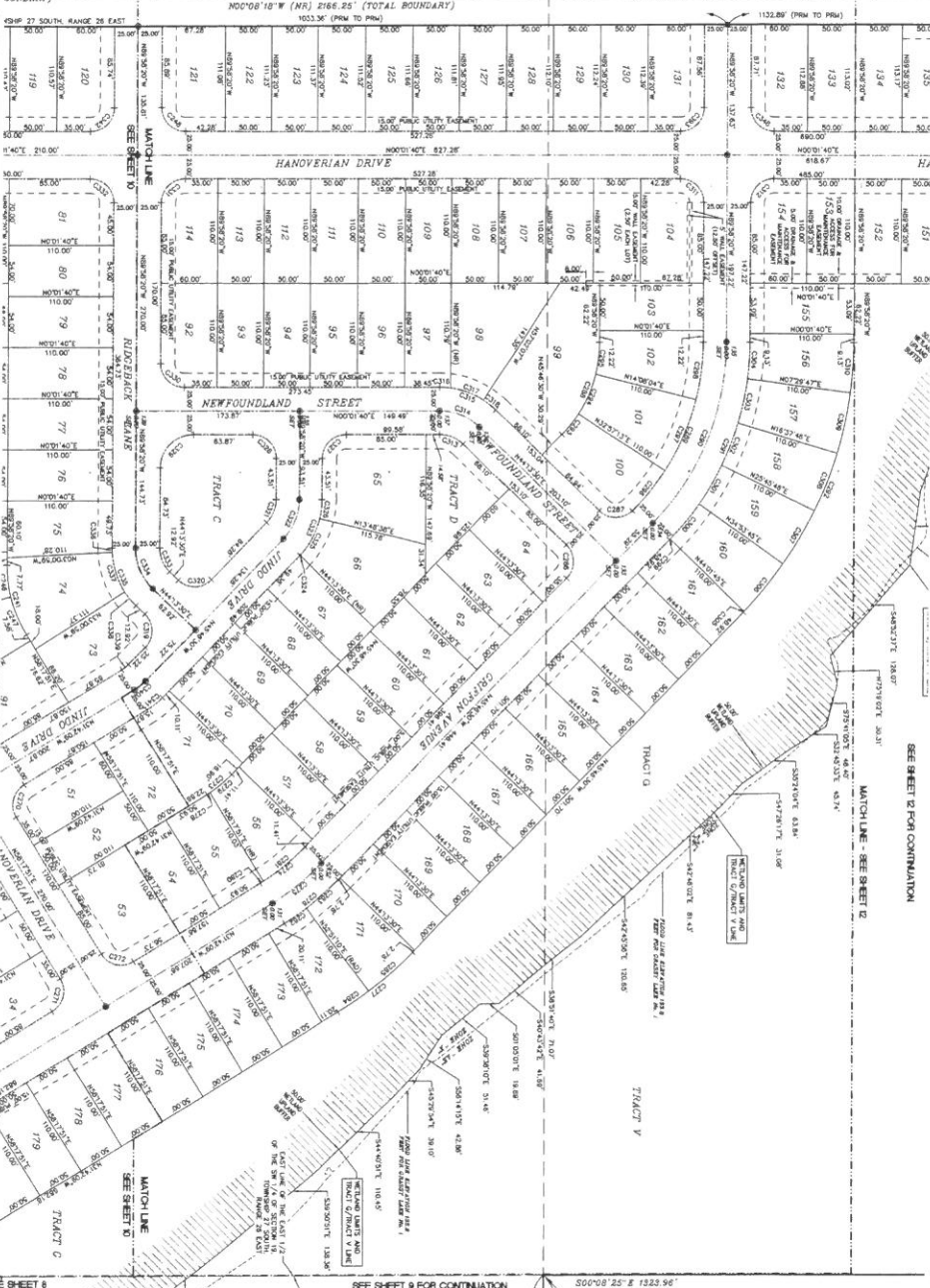
FLOOD HAZARD WARNING:

THE PROPERTY MAY BE SUBJECT TO FLOODING. YOU SHOULD CONTACT THE CITY OF LOS ANGELES AND ADVISE THE PLAT OF YOUR PROPERTY FOR FLOOD RISK. FLOODING MAY BE CAUSED BY RAINFALL, SLATE OR LOCAL STREAMS DOES NOT PROTECT THEM FROM FLOODING. ADVISE THE CITY OF LOS ANGELES AND ADVISE THE PLAT OF YOUR PROPERTY FOR FLOODING RISK.

ANALYSIS OF THE EFFECTS OF THE

Pennoni

PENNONI ASSOCIATES, INC.
401 Third Street
Wahpet, N.D. 58080
T 701/324-1175 F 701/324-6165



Curve 100kH						Curve 100kH					
Curve #	Length	Radius	Units	Chord length	Point Bearing	Curve #	Length	Radius	Units	Chord length	Point Bearing
C246	3.405	144.000	17.466 14.3	33.87	8625.03 337.1	C247	3.405	144.000	17.466 14.3	33.87	8625.03 337.1
C248	4.486	144.000	17.466 14.3	43.50	8625.03 337.1	C249	4.486	144.000	17.466 14.3	43.50	8625.03 337.1
C250	3.407	144.000	17.466 14.3	33.88	8625.03 337.1	C251	3.407	144.000	17.466 14.3	33.88	8625.03 337.1
C252	3.407	144.000	17.466 14.3	33.88	8625.03 337.1	C253	3.407	144.000	17.466 14.3	33.88	8625.03 337.1
C254	3.407	144.000	17.466 14.3	33.88	8625.03 337.1	C255	3.407	144.000	17.466 14.3	33.88	8625.03 337.1
C256	3.407	144.000	17.466 14.3	33.88	8625.03 337.1	C257	3.407	144.000	17.466 14.3	33.88	8625.03 337.1
C258	3.407	144.000	17.466 14.3	33.88	8625.03 337.1	C259	3.407	144.000	17.466 14.3	33.88	8625.03 337.1
C260	3.407	144.000	17.466 14.3	33.88	8625.03 337.1	C261	3.407	144.000	17.466 14.3	33.88	8625.03 337.1
C262	3.407	144.000	17.466 14.3	33.88	8625.03 337.1	C263	3.407	144.000	17.466 14.3	33.88	8625.03 337.1
C264	3.407	144.000	17.466 14.3	33.88	8625.03 337.1	C265	3.407	144.000	17.466 14.3	33.88	8625.03 337.1
C266	3.407	144.000	17.466 14.3	33.88	8625.03 337.1	C267	3.407	144.000	17.466 14.3	33.88	8625.03 337.1
C268	3.407	144.000	17.466 14.3	33.88	8625.03 337.1	C269	3.407	144.000	17.466 14.3	33.88	8625.03 337.1
C270	3.407	144.000	17.466 14.3	33.88	8625.03 337.1	C271	3.407	144.000	17.466 14.3	33.88	8625.03 337.1
C272	3.407	144.000	17.466 14.3	33.88	8625.03 337.1	C273	3.407	144.000	17.466 14.3	33.88	8625.03 337.1
C274	3.407	144.000	17.466 14.3	33.88	8625.03 337.1	C275	3.407	144.000	17.466 14.3	33.88	8625.03 337.1
C276	3.407	144.000	17.466 14.3	33.88	8625.03 337.1	C277	3.407	144.000	17.466 14.3	33.88	8625.03 337.1
C278	3.407	144.000	17.466 14.3	33.88	8625.03 337.1	C279	3.407	144.000	17.466 14.3	33.88	8625.03 337.1
C280	3.407	144.000	17.466 14.3	33.88	8625.03 337.1	C281	3.407	144.000	17.466 14.3	33.88	8625.03 337.1
C282	3.407	144.000	17.466 14.3	33.88	8625.03 337.1	C283	3.407	144.000	17.466 14.3	33.88	8625.03 337.1
C284	3.407	144.000	17.466 14.3	33.88	8625.03 337.1	C285	3.407	144.000	17.466 14.3	33.88	8625.03 337.1
C286	3.407	144.000	17.466 14.3	33.88	8625.03 337.1	C287	3.407	144.000	17.466 14.3	33.88	8625.03 337.1
C288	3.407	144.000	17.466 14.3	33.88	8625.03 337.1	C289	3.407	144.000	17.466 14.3	33.88	8625.03 337.1
C290	3.407	144.000	17.466 14.3	33.88	8625.03 337.1	C291	3.407	144.000	17.466 14.3	33.88	8625.03 337.1
C292	3.407	144.000	17.466 14.3	33.88	8625.03 337.1	C293	3.407	144.000	17.466 14.3	33.88	8625.03 337.1
C294	3.407	144.000	17.466 14.3	33.88	8625.03 337.1	C295	3.407	144.000	17.466 14.3	33.88	8625.03 337.1
C296	3.407	144.000	17.466 14.3	33.88	8625.03 337.1	C297	3.407	144.000	17.466 14.3	33.88	8625.03 337.1
C298	3.407	144.000	17.466 14.3	33.88	8625.03 337.1	C299	3.407	144.000	17.466 14.3	33.88	8625.03 337.1
C300	3.407	144.000	17.466 14.3	33.88	8625.03 337.1	C301	3.407	144.000	17.466 14.3	33.88	8625.03 337.1
C302	3.407	144.000	17.466 14.3	33.88	8625.03 337.1	C303	3.407	144.000	17.466 14.3	33.88	8625.03 337.1
C304	3.407	144.000	17.466 14.3	33.88	8625.03 337.1	C305	3.407	144.000	17.466 14.3	33.88	8625.03 337.1
C306	3.407	144.000	17.466 14.3	33.88	8625.03 337.1	C307	3.407	144.000	17.466 14.3	33.88	8625.03 337.1
C308	3.407	144.000	17.466 14.3	33.88	8625.03 337.1	C309	3.407	144.000	17.466 14.3	33.88	8625.03 337.1
C310	3.407	144.000	17.466 14.3	33.88	8625.03 337.1	C311	3.407	144.000	17.466 14.3	33.88	8625.03 337.1
C312	3.407	144.000	17.466 14.3	33.88	8625.03 337.1	C313	3.407	144.000	17.466 14.3	33.88	8625.03 337.1
C314	3.407	144.000	17.466 14.3	33.88	8625.03 337.1	C315	3.407	144.000	17.466 14.3	33.88	8625.03 337.1
C316	3.407	144.000	17.466 14.3	33.88	8625.03 337.1	C317	3.407	144.000	17.466 14.3	33.88	8625.03 337.1
C318	3.407	144.000	17.466 14.3	33.88	8625.03 337.1	C319	3.407	144.000	17.466 14.3	33.88	8625.03 337.1
C320	3.407	144.000	17.466 14.3	33.88	8625.03 337.1	C321	3.407	144.000	17.466 14.3	33.88	8625.03 337.1
C322	3.407	144.000	17.466 14.3	33.88	8625.03 337.1	C323	3.407	144.000	17.466 14.3	33.88	8625.03 337.1
C324	3.407	144.000	17.466 14.3	33.88	8625.03 337.1	C325	3.407	144.000	17.466 14.3	33.88	8625.03 337.1
C326	3.407	144.000	17.466 14.3	33.88	8625.03 337.1	C327	3.407	144.000	17.466 14.3	33.88	8625.03 337.1
C328	3.407	144.000	17.466 14.3	33.88	8625.03 337.1	C329	3.407	144.000	17.466 14.3	33.88	8625.03 337.1
C330	3.407	144.000	17.466 14.3	33.88	8625.03 337.1	C331	3.407	144.000	17.466 14.3	33.88	8625.03 337.1
C332	3.407	144.000	17.466 14.3	33.88	8625.03 337.1	C333	3.407	144.000	17.466 14.3	33.88	8625.03 337.1
C334	3.407	144.000	17.466 14.3	33.88	8625.03 337.1	C335	3.407	144.000	17.466 14.3	33.88	8625.03 337.1
C336	3.407	144.000	17.466 14.3	33.88	8625.03 337.1	C337	3.407	144.000	17.466 14.3	33.88	8625.03 337.1
C338	3.407	144.000	17.466 14.3	33.88	8625.03 337.1	C339	3.407	144.000	17.466 14.3	33.88	8625.03 337.1
C340	3.407	144.000	17.466 14.3	33.88	8625.03 337.1	C341	3.407	144.000	17.466 14.3	33.88	8625.03 337.1
C342	3.407	144.000	17.466 14.3	33.88	8625.03 337.1	C343	3.407	144.000	17.466 14.3	33.88	8625.03 337.1

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SHEET 13 OF 18



Curve Table				
Curve #	Length	Radius	Delta	Chord Length
C2	13.83	166.00	04 15 37"	13.83
C3	89.30	118.00	46 02 34"	96.30
C25	148.00	93.00	81 55 50"	134.33
C348	130.87	85.00	81 56 40"	124.56
C350	133.8	85.00	07 57 10"	133.8
				885.96 137"

EXISTING EASEMENTS - PLAT TABLE

1. **PLAT 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841,**

WETLANDS AREA NOTE

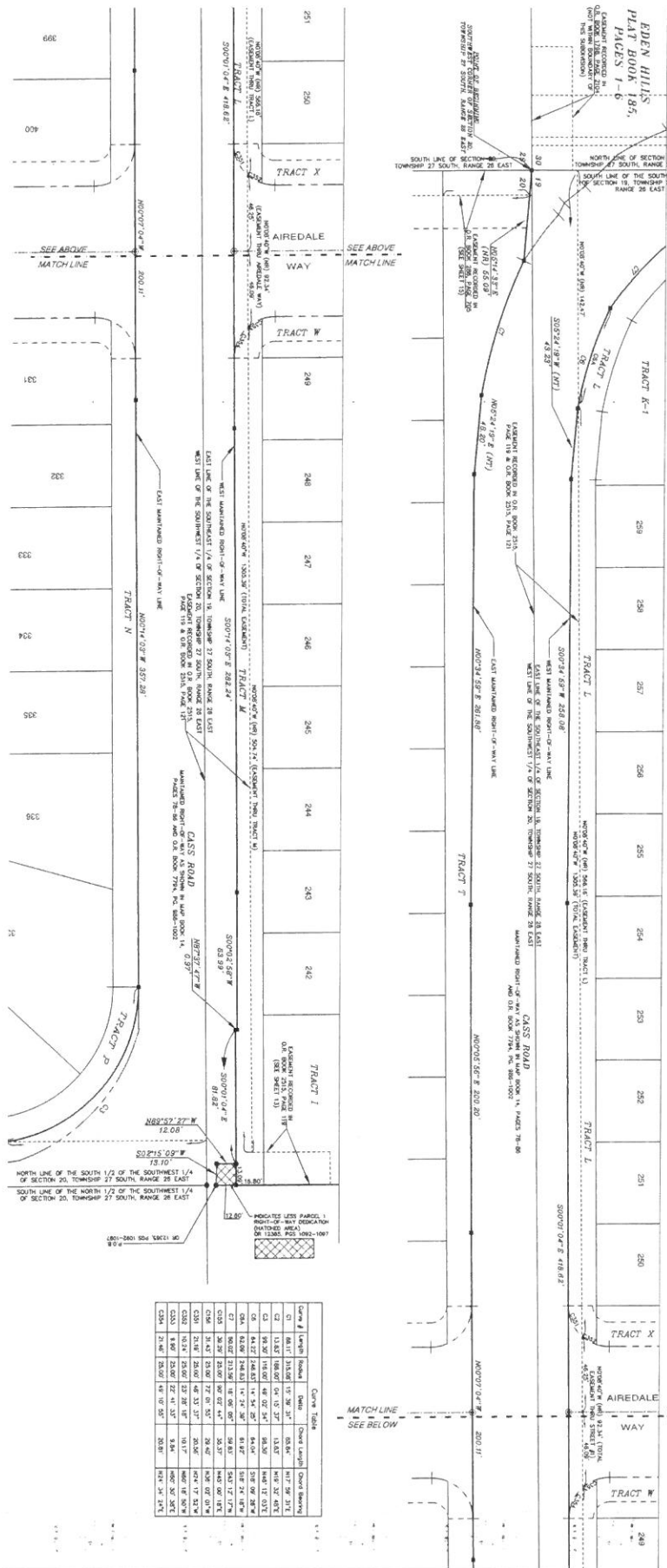
WETLANDS AREA SHALL REMAIN IN ITS NATURAL STATE. ALL DISTURBED WETLANDS SHALL BE RESTORED TO ORIGINAL CONDITION. DISTURBED WETLANDS AREA SHALL NOT BE ADJOINED TO ANY OTHER WETLANDS. WETLANDS AREA SHALL NOT BE ADJOINED TO ANY OTHER WETLANDS. WETLANDS AREA SHALL NOT BE ADJOINED TO ANY OTHER WETLANDS.

TOILET, SINK, DISHWASH	177.49 USDS ±
TOILET + SINK + DISHWASH	82.00 USDS ±
LAND FILL	63.44 USDS ±
WATER	11.77 USDS ±
RECYCLED PAPER (100%)	23.86 USDS ±
RECYCLED BOTTLES (50%)	0.56 USDS ±
RECYCLED BOTTLES (100%)	11.56 USDS ±
RECYCLED PAPER (50%)	0.56 USDS ±
RECYCLED PAPER (100%)	43.56 USDS ±
RECYCLED PAPER (50%)	18.56 USDS ±
RECYCLED PAPER (100%)	54.65 USDS ±
TOILET, SINK, AND BATHS (100%)	220.00 USDS ±
TOTAL (USDS) OF MATERIALS	408.10 USDS

Pennoni

PENNONI ASSOCIATES INC
401 Third Street SW
Winter Haven, FL 33860
T 863.324.1112 F 863.294.6165
COA #00007619 LB #0126

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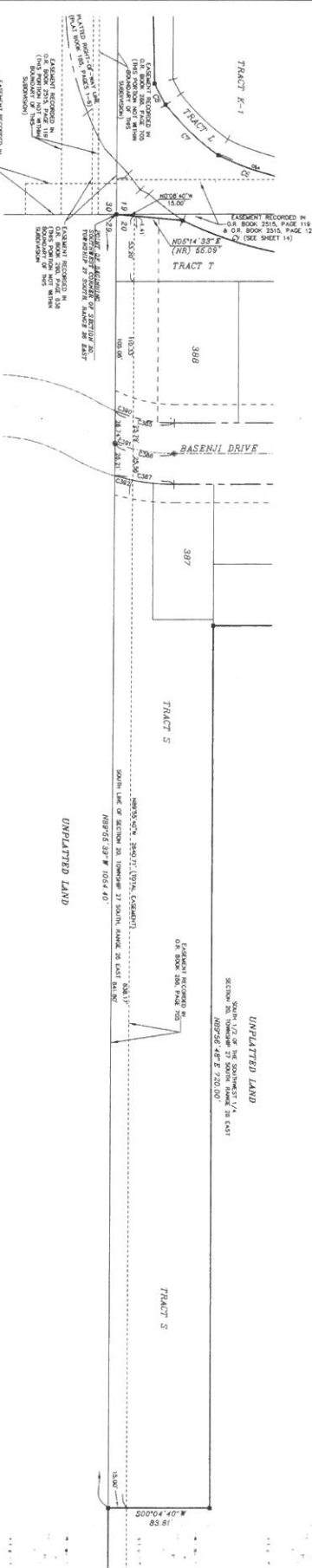
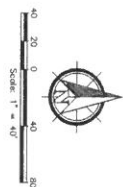


Case #	Length	Radius	Curve Fit Data	
			Delta	Chord Length
C1	66.17	315.00	15.36	65.84
C2	132.33	180.00	30.72	132.67
C3	99.99	180.00	46.08	99.30
C4	99.99	246.83	15.36	94.04
C5A	642.69	246.83	15.36	642.67
C7	90.02	212.99	16.00	89.83
C10	30.07	212.99	16.00	30.37
C16	31.46	25.00	48.77	29.47
C20	21.67	25.00	33.00	20.56
C23	10.24	25.00	48.77	10.17
C25	14.67	25.00	32.16	14.34
C26	21.67	25.00	32.16	21.37
C28	14.67	25.00	48.77	14.34
C34	21.67	25.00	48.77	20.81

ESTATING EASEMENTS: ANALYSIS TABLE

PENNONI ASSOCIATES INC
401 Third Street SW
Winter Haven, FL 33880
T 863.324.1112 F 863.294.6185
COA #00097819 LB #8126

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SHEET 15 OF 18



EDEN HILLS PLAT BOOK 185, PAGES 1-6

EXISTING EASEMENTS - USAGE TABLE

- [illegible]

TRACT USAGE TABLE

[illegible]

NOTICE:

WETLANDS AREA NOTE

WETLANDS AREA SHALL REMAIN IN ITS NATURAL STATE, BUT WILL RECEIVE LIMITED DEVELOPMENT. THE WETLANDS AREA SHALL BE MAINTAINED AND PROTECTED BY THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) AND THE FLORIDA DEPARTMENT OF AGRICULTURE (FAS) IN COOPERATION WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) AND THE FLORIDA DEPARTMENT OF REVENUE (FDOH). THE WETLANDS AREA SHALL BE MAINTAINED AND PROTECTED BY THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) AND THE FLORIDA DEPARTMENT OF AGRICULTURE (FAS) IN COOPERATION WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) AND THE FLORIDA DEPARTMENT OF REVENUE (FDOH).

WETLANDS AREA NOTE

SHALL REMAIN IN ITS NATURAL STATE, BUT WILL RECEIVE OTHER DRAINAGE, WETLANDS AREA SHALL NOT BE MODIFIED BY THE SOUTHWEST FLORIDA WATER MANAGEMENT SUCCESSION AGENCY.

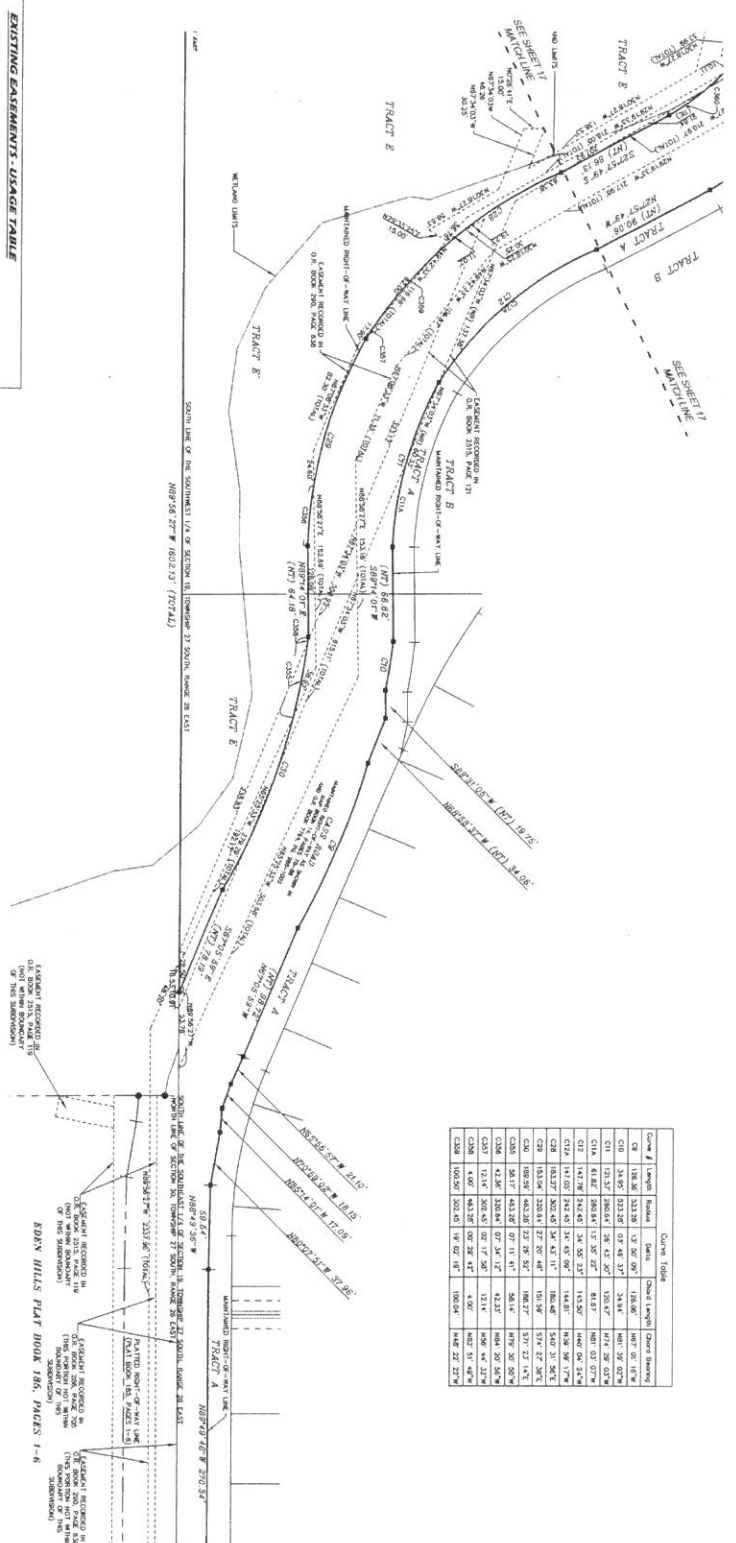
Core #	Length	Status	Date Tied	Core Length	Core Weight
C1	36.11	13.08	12.30 J*	85.84	101.56 J.1%
C2	46.22	14.63	14.04 J2	64.04	515.02 J.1%
C3	60.07	15.61	15.04 J2	96.53	512.01 J.1%
C4	18.36	15.61	07.27 J4	19.36	58.45 J.2%
C5	50.17	15.61	22.56 J4	48.84	58.45 J.2%
C6	49.82	15.01	18.01 J2*	49.96	60.07 J.1%
C6B	48.61	15.01	18.14 J3*	48.45	60.07 J.1%
C7	13.87	12.01	07.17 J3*	13.68	112.56 J.2%
C8	13.87	12.01	07.35 J3*	13.65	112.56 J.2%
C9	13.44	12.01	09.02 J4	13.43	101.30 J.2%

Median age (years)	50.3
Range of age (years)	20-75
Gender (male/female)	50.3 / 50.3
Weight (kg)	75.5
Height (cm)	175.0
Duration of disease (years)	10.5
Family history of disease	10.5
Current smoking status	10.5
Alcohol consumption (g/day)	10.5
Exercise frequency (times/week)	10.5
Stress level (1-10)	10.5
Medication adherence (1-10)	10.5
Quality of life score (1-10)	10.5
Comorbidity index	10.5
Healthcare utilization (times/year)	10.5
Health insurance status	10.5
Education level (years)	10.5
Employment status	10.5
Marital status	10.5
Religious beliefs	10.5
Social support index	10.5
Genetic testing results	10.5
Environmental exposure index	10.5
Psychological assessment score	10.5
Neurological examination findings	10.5
Immunological test results	10.5
Cardiovascular risk factors	10.5
Respiratory function tests	10.5
Gastrointestinal symptoms	10.5
Endocrine panel results	10.5
Renal function tests	10.5
Hepatic enzyme levels	10.5
Autoantibody titers	10.5
Proteinuria levels	10.5
Blood pressure readings	10.5
Cholesterol levels	10.5
Glucose tolerance test results	10.5
Thyroid function tests	10.5
Parathyroid hormone levels	10.5
Vitamin D levels	10.5
Ferritin levels	10.5
C-reactive protein levels	10.5
Erythrocyte sedimentation rate	10.5
Antinuclear antibody titer	10.5
Rheumatoid factor titer	10.5
Anti-CCP antibody titer	10.5
Anti-dsDNA antibody titer	10.5
Anti-Sm antibody titer	10.5
Anti-U1RNP antibody titer	10.5
Anti-SSA antibody titer	10.5
Anti-SSB antibody titer	10.5
Anti-Jo-1 antibody titer	10.5

CURRENT ZONING OF LANDS BEING PLATTED

PENNONI ASSOCIATES INC.
401 Third Street SW
Winder Haven, FL 33680
T 863 324 1112 F 863 294 6165
COA #00007819 LB #8128

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[illegible]

POINT-OF-SALE LOCATION	DATE	ITEM	QTY	PRICE	TOTAL
LAKE ARIZONA	12/14/2005	1	1.00	1.00	1.00
LAKE ARIZONA	12/14/2005	2	2.00	2.00	2.00
LAKE ARIZONA	12/14/2005	3	3.00	3.00	3.00
LAKE ARIZONA	12/14/2005	4	4.00	4.00	4.00
LAKE ARIZONA	12/14/2005	5	5.00	5.00	5.00
LAKE ARIZONA	12/14/2005	6	6.00	6.00	6.00
LAKE ARIZONA	12/14/2005	7	7.00	7.00	7.00
LAKE ARIZONA	12/14/2005	8	8.00	8.00	8.00
LAKE ARIZONA	12/14/2005	9	9.00	9.00	9.00
LAKE ARIZONA	12/14/2005	10	10.00	10.00	10.00
LAKE ARIZONA	12/14/2005	11	11.00	11.00	11.00
LAKE ARIZONA	12/14/2005	12	12.00	12.00	12.00
LAKE ARIZONA	12/14/2005	13	13.00	13.00	13.00
LAKE ARIZONA	12/14/2005	14	14.00	14.00	14.00
LAKE ARIZONA	12/14/2005	15	15.00	15.00	15.00
LAKE ARIZONA	12/14/2005	16	16.00	16.00	16.00
LAKE ARIZONA	12/14/2005	17	17.00	17.00	17.00
LAKE ARIZONA	12/14/2005	18	18.00	18.00	18.00
LAKE ARIZONA	12/14/2005	19	19.00	19.00	19.00
LAKE ARIZONA	12/14/2005	20	20.00	20.00	20.00
LAKE ARIZONA	12/14/2005	21	21.00	21.00	21.00
LAKE ARIZONA	12/14/2005	22	22.00	22.00	22.00
LAKE ARIZONA	12/14/2005	23	23.00	23.00	23.00
LAKE ARIZONA	12/14/2005	24	24.00	24.00	24.00
LAKE ARIZONA	12/14/2005	25	25.00	25.00	25.00
LAKE ARIZONA	12/14/2005	26	26.00	26.00	26.00
LAKE ARIZONA	12/14/2005	27	27.00	27.00	27.00
LAKE ARIZONA	12/14/2005	28	28.00	28.00	28.00
LAKE ARIZONA	12/14/2005	29	29.00	29.00	29.00
LAKE ARIZONA	12/14/2005	30	30.00	30.00	30.00
LAKE ARIZONA	12/14/2005	31	31.00	31.00	31.00
LAKE ARIZONA	12/14/2005	32	32.00	32.00	32.00
LAKE ARIZONA	12/14/2005	33	33.00	33.00	33.00
LAKE ARIZONA	12/14/2005	34	34.00	34.00	34.00
LAKE ARIZONA	12/14/2005	35	35.00	35.00	35.00
LAKE ARIZONA	12/14/2005	36	36.00	36.00	36.00
LAKE ARIZONA	12/14/2005	37	37.00	37.00	37.00
LAKE ARIZONA	12/14/2005	38	38.00	38.00	38.00
LAKE ARIZONA	12/14/2005	39	39.00	39.00	39.00
LAKE ARIZONA	12/14/2005	40	40.00	40.00	40.00
LAKE ARIZONA	12/14/2005	41	41.00	41.00	41.00
LAKE ARIZONA	12/14/2005	42	42.00	42.00	42.00
LAKE ARIZONA	12/14/2005	43	43.00	43.00	43.00
LAKE ARIZONA	12/14/2005	44	44.00	44.00	44.00
LAKE ARIZONA	12/14/2005	45	45.00	45.00	45.00
LAKE ARIZONA	12/14/2005	46	46.00	46.00	46.00
LAKE ARIZONA	12/14/2005	47	47.00	47.00	47.00
LAKE ARIZONA	12/14/2005	48	48.00	48.00	48.00
LAKE ARIZONA	12/14/2005	49	49.00	49.00	49.00
LAKE ARIZONA	12/14/2005	50	50.00	50.00	50.00
LAKE ARIZONA	12/14/2005	51	51.00	51.00	51.00
LAKE ARIZONA	12/14/2005	52	52.00	52.00	52.00
LAKE ARIZONA	12/14/2005	53	53.00	53.00	53.00
LAKE ARIZONA	12/14/2005	54	54.00	54.00	54.00
LAKE ARIZONA	12/14/2005	55	55.00	55.00	55.00
LAKE ARIZONA	12/14/2005	56	56.00	56.00	56.00
LAKE ARIZONA	12/14/2005	57	57.00	57.00	57.00
LAKE ARIZONA	12/14/2005	58	58.00	58.00	58.00
LAKE ARIZONA	12/14/2005	59	59.00	59.00	59.00
LAKE ARIZONA	12/14/2005	60	60.00	60.00	60.00
LAKE ARIZONA	12/14/2005	61	61.00	61.00	61.00
LAKE ARIZONA	12/14/2005	62	62.00	62.00	62.00
LAKE ARIZONA	12/14/2005	63	63.00	63.00	63.00
LAKE ARIZONA	12/14/2005	64	64.00	64.00	64.00
LAKE ARIZONA	12/14/2005	65	65.00	65.00	65.00
LAKE ARIZONA	12/14/2005	66	66.00	66.00	66.00
LAKE ARIZONA	12/14/2005	67	67.00	67.00	67.00
LAKE ARIZONA	12/14/2005	68	68.00	68.00	68.00
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LAKE ARIZONA	12/14/2005	71	71.00	71.00	71.00
LAKE ARIZONA	12/14/2005	72	72.00	72.00	72.00
LAKE ARIZONA	12/14/2005	73	73.00	73.00	73.00
LAKE ARIZONA	12/14/2005	74	74.00	74.00	74.00
LAKE ARIZONA	12/14/2005	75	75.00	75.00	75.00
LAKE ARIZONA	12/14/2005	76	76.00	76.00	76.00
LAKE ARIZONA	12/14/2005	77	77.00	77.00	77.00
LAKE ARIZONA	12/14/2005	78	78.00	78.00	78.00
LAKE ARIZONA	12/14/2005	79	79.00	79.00	79.00
LAKE ARIZONA	12/14/2005	80	80.00	80.00	80.00
LAKE ARIZONA	12/14/2005	81	81.00	81.00	81.00
LAKE ARIZONA	12/14/2005	82	82.00	82.00	82.00
LAKE ARIZONA	12/14/2005	83	83.00	83.00	83.00
LAKE ARIZONA	12/14/2005	84	84.00	84.00	84.00
LAKE ARIZONA	12/14/2005	85	85.00	85.00	85.00
LAKE ARIZONA	12/14/2005	86	86.00	86.00	86.00
LAKE ARIZONA	12/14/2005	87	87.00	87.00	87.00
LAKE ARIZONA	12/14/2005	88	88.00	88.00	88.00
LAKE ARIZONA	12/14/2005	89	89.00	89.00	89.00
LAKE ARIZONA	12/14/2005	90	90.00	90.00	90.00
LAKE ARIZONA	12/14/2005	91	91.00	91.00	91.00
LAKE ARIZONA	12/14/2005	92	92.00	92.00	92.00
LAKE ARIZONA	12/14/2005	93	93.00	93.00	93.00
LAKE ARIZONA	12/14/2005	94	94.00	94.00	94.00
LAKE ARIZONA	12/14/2005	95	95.00	95.00	95.00
LAKE ARIZONA	12/14/2005	96	96.00	96.00	96.00
LAKE ARIZONA	12/14/2005	97	97.00	97.00	97.00
LAKE ARIZONA	12/14/2005	98	98.00	98.00	98.00
LAKE ARIZONA	12/14/2005	99	99.00	99.00	99.00
LAKE ARIZONA	12/14/2005	100	100.00	100.00	100.00

Pennoni

PENNONI ASSOCIATES INC.
401 Third Street SW
Vernier Haven, FL 33680
T 863.324.1112 F 863.294.6135
COA #00007819 LB #8126

PLAT BOOK 144 **PAGE** 40
SHEET 17 OF 18

194 PAGE 40

[illegible]

Case #	Age	Height	Weight	Sex	Time	Chord Length	Chord Sloping
01A	51	177	72.68	F	14: 35	14.50	64.4
01B	51	177	72.68	F	15: 20	14.50	64.4
01C	51	177	72.68	F	16: 05	14.50	64.4
01D	51	177	72.68	F	16: 50	14.50	64.4
01E	51	177	72.68	F	17: 35	14.50	64.4
01F	51	177	72.68	F	18: 20	14.50	64.4
01G	51	177	72.68	F	19: 05	14.50	64.4
01H	51	177	72.68	F	19: 50	14.50	64.4
01I	51	177	72.68	F	20: 35	14.50	64.4
01J	51	177	72.68	F	21: 20	14.50	64.4
01K	51	177	72.68	F	22: 05	14.50	64.4
01L	51	177	72.68	F	22: 50	14.50	64.4
01M	51	177	72.68	F	23: 35	14.50	64.4
01N	51	177	72.68	F	24: 20	14.50	64.4
01O	51	177	72.68	F	25: 05	14.50	64.4
01P	51	177	72.68	F	25: 50	14.50	64.4
01Q	51	177	72.68	F	26: 35	14.50	64.4
01R	51	177	72.68	F	27: 20	14.50	64.4
01S	51	177	72.68	F	28: 05	14.50	64.4
01T	51	177	72.68	F	28: 50	14.50	64.4
01U	51	177	72.68	F	29: 35	14.50	64.4
01V	51	177	72.68	F	30: 20	14.50	64.4
01W	51	177	72.68	F	31: 05	14.50	64.4
01X	51	177	72.68	F	31: 50	14.50	64.4
01Y	51	177	72.68	F	32: 35	14.50	64.4
01Z	51	177	72.68	F	33: 20	14.50	64.4
02A	52	178	73.68	F	14: 35	14.50	64.4
02B	52	178	73.68	F	15: 20	14.50	64.4
02C	52	178	73.68	F	16: 05	14.50	64.4
02D	52	178	73.68	F	16: 50	14.50	64.4
02E	52	178	73.68	F	17: 35	14.50	64.4
02F	52	178	73.68	F	18: 20	14.50	64.4
02G	52	178	73.68	F	19: 05	14.50	64.4
02H	52	178	73.68	F	19: 50	14.50	64.4
02I	52	178	73.68	F	20: 35	14.50	64.4
02J	52	178	73.68	F	21: 20	14.50	64.4
02K	52	178	73.68	F	22: 05	14.50	64.4
02L	52	178	73.68	F	22: 50	14.50	64.4
02M	52	178	73.68	F	23: 35	14.50	64.4
02N	52	178	73.68	F	24: 20	14.50	64.4
02O	52	178	73.68	F	25: 05	14.50	64.4
02P	52	178	73.68	F	25: 50	14.50	64.4
02Q	52	178	73.68	F	26: 35	14.50	64.4
02R	52	178	73.68	F	27: 20	14.50	64.4
02S	52	178	73.68	F	28: 05	14.50	64.4
02T	52	178	73.68	F	28: 50	14.50	64.4
02U	52	178	73.68	F	29: 35	14.50	64.4
02V	52	178	73.68	F	30: 20	14.50	64.4
02W	52	178	73.68	F	31: 05	14.50	64.4
02X	52	178	73.68	F	31: 50	14.50	64.4
02Y	52	178	73.68	F	32: 35	14.50	64.4
02Z	52	178	73.68	F	33: 20	14.50	64.4
03A	53	179	74.68	F	14: 35	14.50	64.4
03B	53	179	74.68	F	15: 20	14.50	64.4
03C	53	179	74.68	F	16: 05	14.50	64.4
03D	53	179	74.68	F	16: 50	14.50	64.4
03E	53	179	74.68	F	17: 35	14.50	64.4
03F	53	179	74.68	F	18: 20	14.50	64.4
03G	53	179	74.68	F	19: 05	14.50	64.4
03H	53	179	74.68	F	19: 50	14.50	64.4
03I	53	179	74.68	F	20: 35	14.50	64.4
03J	53	179	74.68	F	21: 20	14.50	64.4
03K	53	179	74.68	F	22: 05	14.50	64.4
03L	53	179	74.68	F	22: 50	14.50	64.4
03M	53	179	74.68	F	23: 35	14.50	64.4
03N	53	179	74.68	F	24: 20	14.50	64.4
03O	53	179	74.68	F	25: 05	14.50	64.4
03P	53	179	74.68	F	25: 50	14.50	64.4
03Q	53	179	74.68	F	26: 35	14.50	64.4
03R	53	179	74.68	F	27: 20	14.50	64.4
03S	53	179	74.68	F	28: 05	14.50	64.4
03T	53	179	74.68	F	28: 50	14.50	64.4
03U	53	179	74.68	F	29: 35	14.50	64.4
03V	53	179	74.68	F	30: 20	14.50	64.4
03W	53	179	74.68	F	31: 05	14.50	64.4
03X	53	179	74.68	F	31: 50	14.50	64.4
03Y	53	179	74.68	F	32: 35	14.50	64.4
03Z	53	179	74.68	F	33: 20	14.50	64.4

[illegible][illegible]

NOTICE:
THIS PLAT, AS RECEIVED IN ITS ORIGINAL FORM, IS THE OFFICIAL DEFINITION OF THE SUBMITTED LANDS DESCRIBED HEREIN AND WILL BE THE OFFICIAL BASIS FOR THE DETERMINATION OF ANY AND ALL RIGHTS OR INTERESTS IN THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECEIVED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTRY.

WETLANDS AREA NOTE
THE WETLANDS AREA SHOWN HEREIN IS ITS NATURAL STATE, BUT MAY RECEIVE OTHER STATUS UNDER FEDERAL, STATE, OR LOCAL LAWS. ANY SUCH LAWS OR ORDINANCES, OR ITS SUCCESSORS' AGENCIES,

PROPERTY	AREA	PERCENTAGE OF TOTAL
PROPOSED OPEN SPACE (RURAL LAND)	2.20 ACRES ±	0.00%
PROPOSED OPEN SPACE (URBAN LAND)	0.00 ACRES ±	0.00%
PROPOSED TOTAL OPEN SPACE	4.50 ACRES ±	0.00%
ROADWAY (RIGHT-OF-WAY) AREA	16.50 ACRES ±	0.00%
LOT AREA (NET LEASED OPEN SPACE, 0/0/0)	34.40 ACRES ±	0.00%
TOTAL LENGTH OF ROADWAYS	1,371.70 LINEAL FEET, 2.50 MILES	0.00%
TOTAL NUMBER OF LOTS	400 LOTS	0.00%

Pennoni

PENNONI ASSOCIATES INC.
401 Third Street SW
Winter Haven, FL 33904
T 863.324.1112 F 863.324.6185
C.O.# 900007819 LB #6126

EDEN HILLS PHASE 2

SECTIONS 19 AND 20, TOWNSHIP 27 SOUTH, RANGE 26 EAST,
CITY OF LAKE ALFRED, POLK COUNTY, FLORIDA

PLAT BOOK 104 PAGE 41
SHEET 18 OF 18

Parcel #	Area (sq)
1	5500
2	5500
3	5500
4	5500
5	5500
6	5500
7	5500
8	5500
9	5500
10	5500
11	5500
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16	5500
17	5500
18	5500
19	5500
20	5500

Parcel #	Area (sq)
21	5500
22	5500
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24	5500
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29	5500
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39	5500
40	5500

Parcel #	Area (sq)
41	5500
42	5500
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44	5500
45	5500
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Parcel #	Area (sq)
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Parcel #	Area (sq)
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Parcel #	Area (sq)
101	5500
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Parcel #	Area (sq)
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Parcel #	Area (sq)
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Parcel #	Area (sq)
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Parcel #	Area (sq)
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Parcel #	Area (sq)
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Parcel #	Area (sq)
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Parcel #	Area (sq)
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Parcel #	Area (sq)
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Parcel #	Area (sq)
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Parcel #	Area (sq)
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319	5500
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Parcel #	Area (sq)
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Parcel #	Area (sq)
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Parcel #	Area (sq)
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Parcel #	Area (sq)
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397	5500
398	5500
399	5500
400	5500



PENNONI ASSOCIATES, INC.
401 Third Street SW
Atlanta, GA 30334
T 404.525.8888
F 404.525.8889
COA 00007018 LB 88128

Eden Hills

Phase II Community Signage

Lake Alfred, Florida

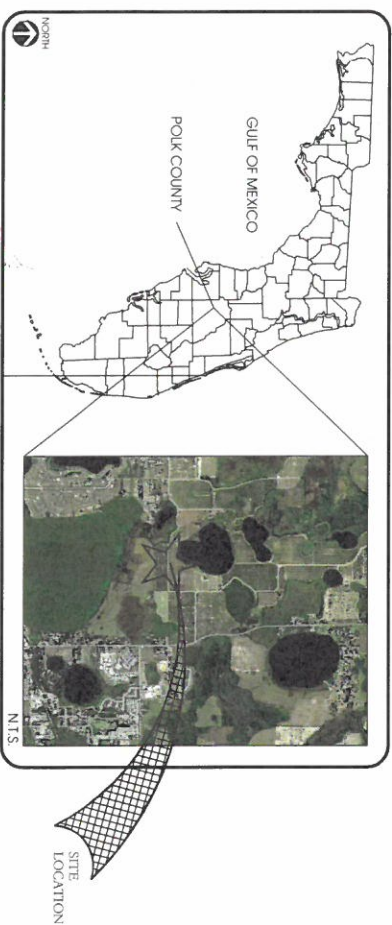
100% Construction Documents

Date: 11/30/2022

PREPARED FOR:

THE CASSIDY ORGANIZATION, INC.

346 East Central Ave.
Winter Haven, FL 33880

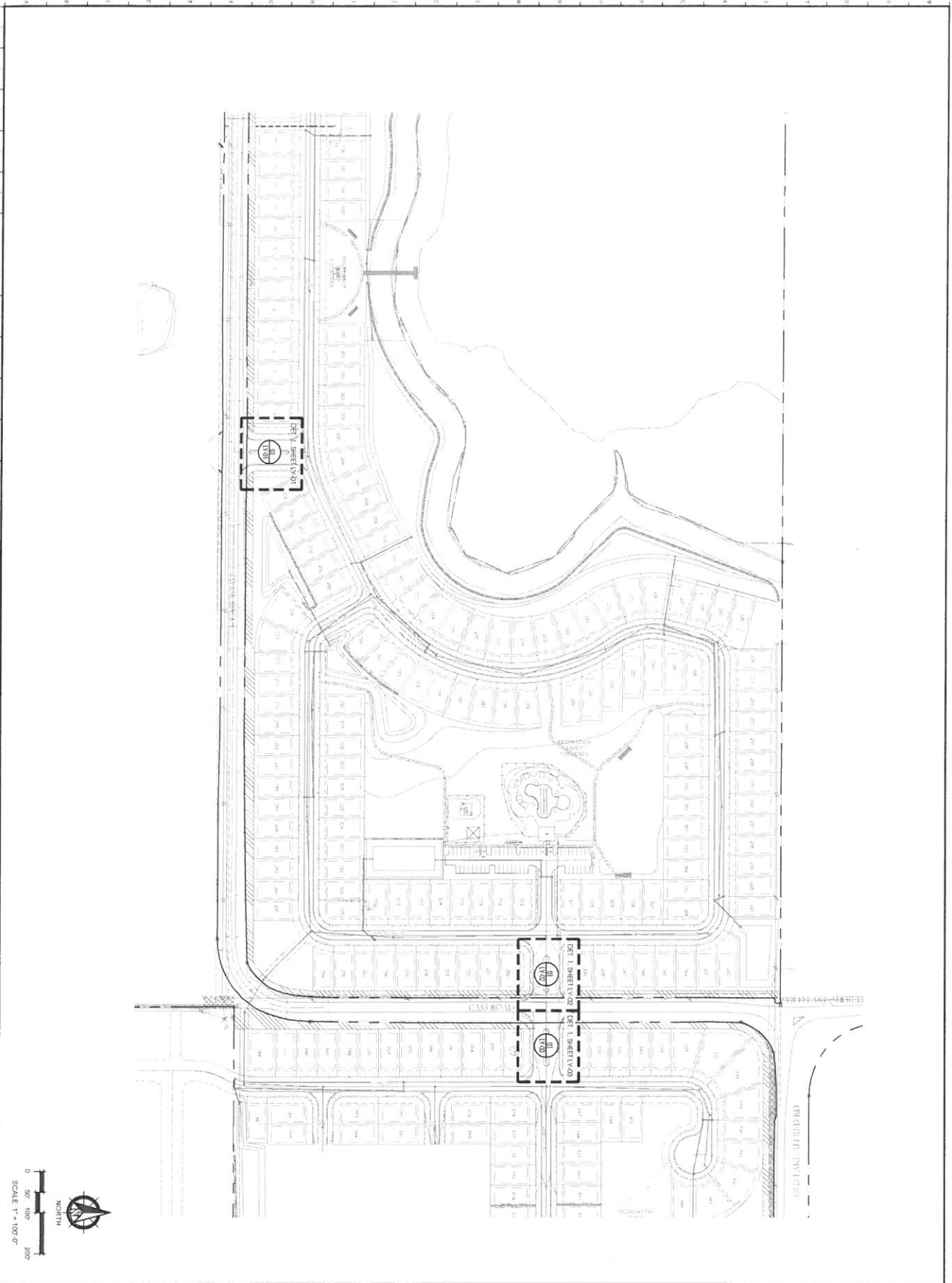
VICINITY MAP[illegible]

PREPARED BY:



INNOVATIONS
DESIGN

1200 HILLCREST ST., STE 306 ■ ORLANDO ■ FLORIDA ■ 32803
WWW.INNOVATIONS-DESIGN.COM ■ 407-440-3574



Designed By
INNOVATIONS
DESIGN GROUP, INC.
15845 W. 15th Ave., Suite 100
Denver, CO 80202
303.755.1100
www.innovationsdesigngroup.com

Key Map

PHASE II

CLIENT
THE CASSIDY ORGANIZATION

EDEN HILLS COMMUNITY SIGNAGE (PHASE II)
LAKE ALFRED, FLORIDA

100% CONSTRUCTION DOCUMENTS

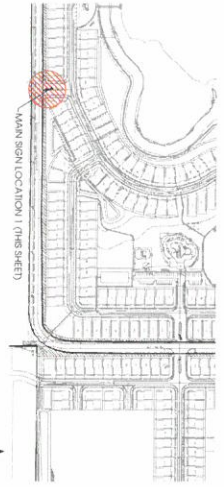
KEY MAP - PHASE II

Rev.	Date	Description	By

Date: 11/28/2022
Scale: AS SHOWN
Drawn By: LDC
Designed By: LDC
Approved By: LDC
Project No: 21008
Innovation Design Group, Inc.

Digitally signed by
Meredith
DN: cn=Meredith,
o=Innovation Design Group, Inc.,
c=US, email=meredith@idginc.com,
serial=153855, c=US

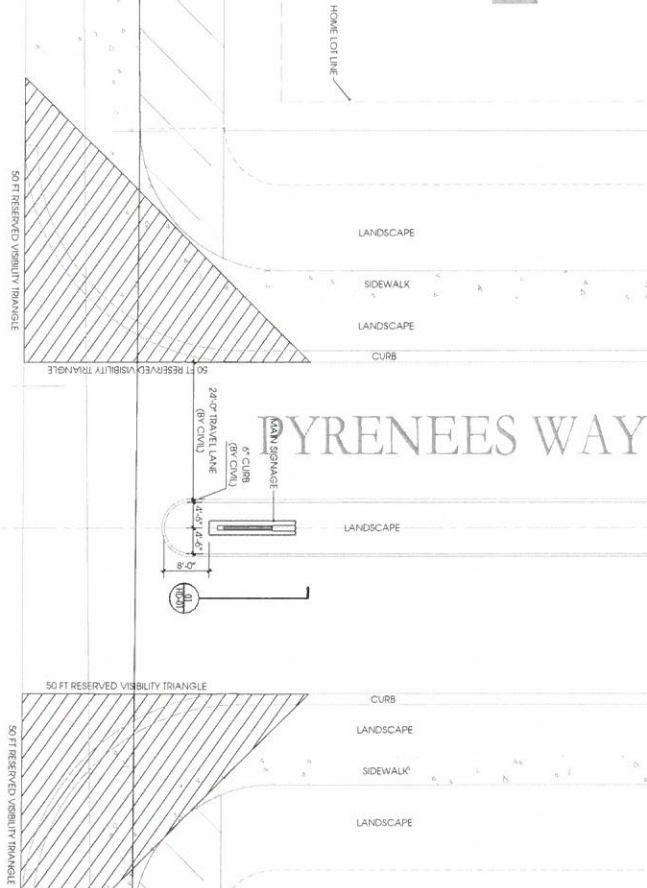
Sheet Number:
KM-00



PHASE II KEY MAP
SCALE 1"=300'-0"

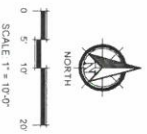


MAIN SIGNAGE LOCATION 1 NOTE
NUMBER OF SIGNS: 1
TYPE OF SIGN: PRIMARY
MAIN SIGNAGE LOCATION 1 NOTE
SIGNAGE LOCATED IN THIS
POSITION SHALL BE DOUBLE-SIDED



01 MAIN SIGNAGE LOCATION 1 (CENTERED IN MEDIAN)
PLAN

SCALE 1"=15'-0"



SCALE 1"=10'-0"

Designed By



INNOVATIONS

Key Map



CLIENT:

THE CASSIDY
ORGANIZATION

EDEN HILLS COMMUNITY SIGNAGE (PHASE II)

LAKE ALFRED, FLORIDA

100% CONSTRUCTION DOCUMENTS
MAIN SIGNAGE LOCATION 1

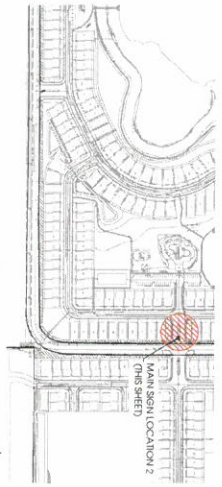
Rev.	Date	Description	By

Scale: AS SHOWN
Date: 11/28/2022
Drawn By: LDC
Approved By: LDC
Innovation Design Group, Inc.

Sheet

Sheet Number

LY-01



PHASE II KEY MAP

SCALE 1"=200'-0"



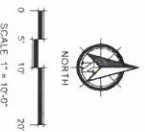
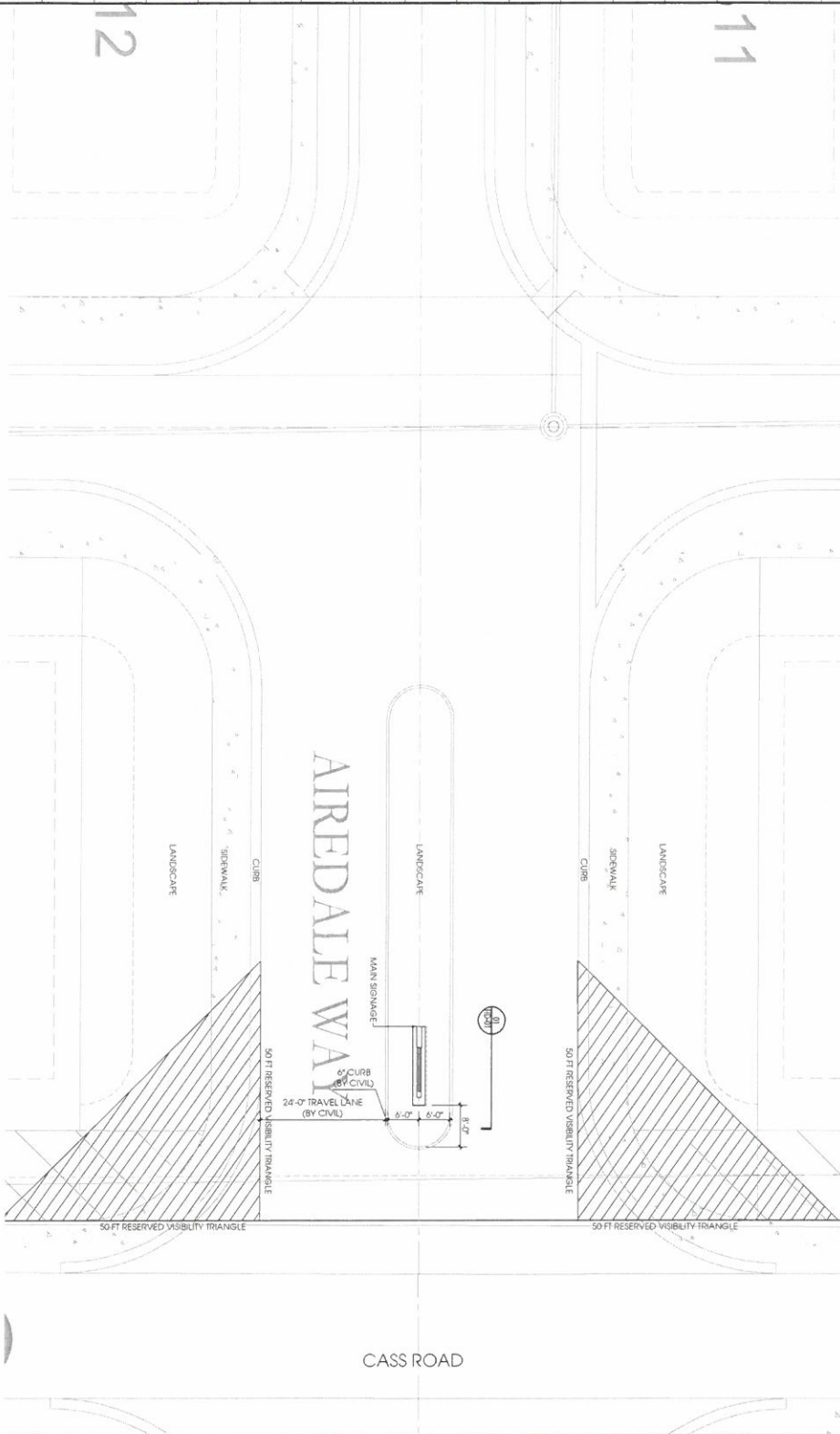
MAIN SIGNAGE LOCATION 2 NOTE:
SIGNAGE LOCATED IN THIS
POSITION SHALL BE DOUBLE-SIDED

MAIN SIGNAGE LOCATION 2 NOTE:
NUMBER OF SIGNS: 1
TYPE OF SIGN: PRIMARY

01 MAIN SIGNAGE LOCATION 2 (CENTERED IN MEDIAN)

PLAN

SCALE 1"=10'-0"



SCALE 1"=10'-0"

Designed By:



Key Map



CLIENT:

THE CASSIDY
ORGANIZATION

EDEN HILLS COMMUNITY
SIGNAGE (PHASE II)

LAKE ALFRED, FLORIDA

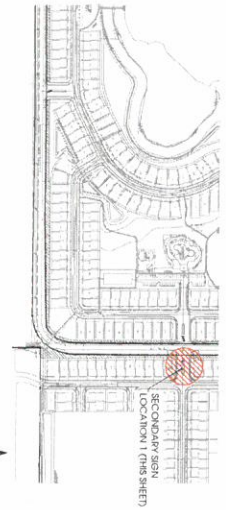
100% CONSTRUCTION DOCUMENTS
MAIN SIGNAGE LOCATION 2

Rev	Date	Description	By
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2	11/28/2022	DESIGNED BY LDC	AS/SH/NN
3	11/28/2022	APPROVED BY LDC	AS/SH/NN
4	11/28/2022	INNOVATION DESIGN GROUP, INC.	AS/SH/NN

Scale: AS/SH/NN	Scale: AS/SH/NN
Drawn By: LDC	Drawn By: LDC
Approved By: LDC	Approved By: LDC
Project No: 21008	Project No: 21008
Innovation Design Group, Inc.	Innovation Design Group, Inc.

Sheet Number

LV-02



PHASE II KEY MAP
SCALE 1"=300'-0"



SECONDARY SIGNAGE LOCATION 1 NOTE:
NUMBER OF SIGNS: 1
TYPE OF SIGN: SECONDARY
SIGNAGE LOCATED IN THIS POSITION
SHALL BE DOUBLE-SIDED

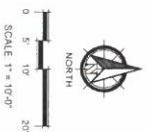
CASS ROAD

AIRDALE WAY

400

270

01 SECONDARY SIGNAGE LOCATION 1 (CENTERED IN MEDIAN)
PLAN
SCALE 1"=10'-0"



SCALE 1"=10'-0"

EDEN HILLS COMMUNITY
SIGNAGE (PHASE II)

LAKE ALFRED, FLORIDA

100% CONSTRUCTION DOCUMENTS
SECONDARY SIGNAGE LOCATION 1

CLIENT:
THE CASSIDY
ORGANIZATION



Key Map

INNOVATIONS

DESIGNED BY: J. F. INNOVATIONS
DRAWN BY: J. F. INNOVATIONS
CHECKED BY: J. F. INNOVATIONS
DATE: 11/28/2022

DATE: 11/28/2022	SCALE: AS SHOWN
DRAWN BY: JDC	DESIGNED BY: JDC
APPROVED BY: JDC	PROJECT NO: 21008
INNOVATION DESIGN GROUP, INC.	

Sheet Number

LY-03

GENERAL STRUCTURAL NOTES

CODES AND STANDARDS

1. WIND LOADS AS PER
 - A. FLORIDA BUILDING CODE 2020 EDITION, FOR A 100-MPH (164-KM/H) WIND SPEED EXPOSURE C, 0.001 MINIMUM PRESSURE COEFFICIENT, 1.0 IMPORTANCE FACTOR, AND 1.0 EXPOSURE CATEGORY.
 - B. THE STRUCTURE IS DESIGNED AS OPEN, DESIGN WIND PRESSURE: 40 PSF.
2. THE PROJECT WAS DESIGNED IN ACCORDANCE WITH THE
 - A. AISC 360 STEEL DESIGN MANUAL, 13TH EDITION.
 - B. AISC 341 STEEL DESIGN MANUAL, 13TH EDITION.
 - C. SPECIFICATION FOR THE DESIGN, FABRICATION & ERECTION OF STRUCTURAL STEEL FOR BUILDINGS (AMERICAN INSTITUTE OF STEEL CONSTRUCTION) AISC 360-16, 13TH EDITION.
3. FOUNDATION
 - A. ALL SITE PREPARATION AND EXCAVATION WORK IS TO BE PERFORMED IN STRICT ACCORDANCE WITH THE SOILS AND FOUNDATIONS INVESTIGATION PREPARED BY AN APPROVED TESTING LABORATORY PRIOR TO FOUNDATION WORK.
 - B. THE BUILDING SITE SHOULD BE EXCAVATED TO THE DEPTH AND EXTENT INDICATED IN THE FOUNDATION DRAWINGS. ALL EXCAVATIONS SHALL BE APPROVED IN WRITING BY THE SOILS ENGINEER PRIOR TO BACKFILLING.
 - C. BOTTOM OF FOOTINGS ASSIGNED TO BEAR ON SOIL CAPABLE OF SAFELY SUPPORTING 1500 PSF.
 - D. SOILS SUPPORTING ALL FOOTINGS MUST BE INSPECTED AND APPROVED BY A REGISTERED SOILS ENGINEER BEFORE COMMENCING WORK. APPROVAL IN WRITING MUST INDICATE THE SOIL IS ADEQUATE TO SAFELY SUSTAIN SPECIFIED SOIL BEARING PRESSURE.
 - E. TOP OF ALL FOOTINGS SHALL BE MINIMUM 12" BELOW FINISH GRADE.
4. EXCAVATION & BACKFILL
 - A. EXCAVATION SHALL BE DEPTH EXCAVATE TO SETTING AND DRAINAGE INDICATED. TAKE EVERY PRECAUTION TO GUARD AGAINST ANY MOVEMENT OF SETTLEMENT OF ADJACENT STRUCTURES, UTILITIES, PAVING, ETC.
 - B. PROVIDE ANY BRACING OR SHORING NECESSARY TO AVOID SETTLEMENT OR DISPLACEMENT OF EXISTING FOUNDATION OR STRUCTURES.
5. CONCRETE
 - A. CONCRETE ELEMENTS TO HAVE THE FOLLOWING STRENGTHS:
 1. ALL CONCRETE SHALL BE READY MIX AND MEET THE FOLLOWING REQUIREMENTS:
 - A. MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS.
 - B. SLABS SHALL BE 2" MINIMUM AND 6" MAXIMUM.
 - C. CONCRETE SHALL HAVE 3 PERCENT AIR ENTRAINMENT.
 - D. ALL CONCRETE TO HAVE MINIMUM WATER/CEMENT RATIO OF 0.55.
 - E. JOINTS SHALL NOT BE ADDED.
 2. ALL CONCRETE WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE A.C.I. BUILDING CODE (ACI 318, 2014 EDITION), THE ACI DETAILING MANUAL (ACI 315 / 2014 EDITION), AND THE ACI 308.1R-11 REPAIR AND RECONSTRUCTION GUIDE FOR BUILDINGS (ACI 308.1R-11, LATEST EDITION).
 - B. SUBMIT ALL REINFORCING STEEL SHOP DRAWINGS FOR APPROVAL PRIOR TO ANY FABRICATION.
 - C. CONCRETE COVER FOR REINFORCING STEEL SHALL BE AS REQUIRED BY A.C.I. SPECIFICATIONS.
6. REINFORCING STEEL
 - A. ALL REINFORCING STEEL SHALL BE MANUFACTURED FROM HIGH STRENGTH BILLET STEEL CONFORMING TO ASTM DESIGNATION A 615, GRADE 60.
 - B. LAP ALL BARS WITH CLASS B TENSION LAP SPICE UNLESS OTHERWISE NOTED ON DRAWINGS. LAP ALL WAYS A MINIMUM OF 12 INCHES (UNLESS OTHERWISE NOTED).
7. REINFORCING BARS
 - A. ALL CORNERS OF CONCRETE WALLS, BEAMS AND CONTIGUOUS WALLS SHALL BE REINFORCED WITH 4 #4 BARS. PROVIDE 180° BENDS FOR EACH HORIZONTAL BAR. PROVIDE 90° BENDS FOR EACH VERTICAL BAR. ALL HOOKS SHOWN IN REINFORCEMENT SHALL BE A.C.I. RECOMMENDED HOOKS UNLESS OTHERWISE NOTED.

MASONRY

MASONRY UNITS SHALL BE

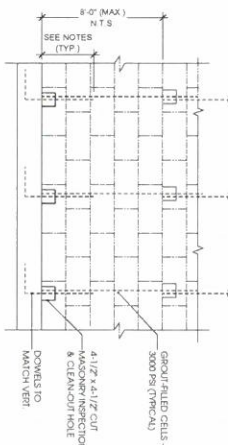
1. TYPE II NON-MOISTURE CONTROLLED
 - A. NORMAL WEIGHT
 - B. ALL CLAM SHALL BE Laid IN A FULL BED OF MORTAR IN RUNNING BOND (U.N.O.).
2. THE COMPRESSIVE STRENGTH OF MASONRY (F_m) SHALL BE 1,500 PSI AS CALCULATED IN ACCORDANCE WITH ASTM C 1314.
3. ALL MORTAR SHALL BE IN ACCORDANCE WITH ASTM SPECIFICATION C 270
 - A. FROM FIELD OR HANDED TEST CORES (MIN. OF TWO).
4. GROUT SHALL BE A HIGH SLUMP MIX
 - A. IN ACCORDANCE WITH ASTM SPECIFICATION C 270.
 - B. HAVING A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI.
 - C. FROM FIELD OR HANDED TEST CORES (MIN. OF TWO).
5. ALL CONCRETE MASONRY BEARING AND SHEAR WALLS SHALL BE INSPECTED BY A REGISTERED INSPECTION COMPANY AND CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING MINIMUM ALLOWABLE PROPERTIES:
 - A. TENSILE STRENGTH, ASTM C 30: 1,500 PSI
 - B. COMPRESSIVE STRENGTH, ASTM C 30: 1,500 PSI
 - C. COMPRESSIVE STRENGTH, ASTM C 579: 1,600 PSI / DAYS
6. PROVIDE HOT DIPPED GALVANIZED LADDER TYPE HORIZONTAL JOINT REINFORCEMENT. WALL TIES, ANCHORS AND INSETS, APPLY A MINIMUM COAT OF 1.5 OUNCES PER SQUARE FOOT (PSY) (4.55 G/M²) COMPLY WITH THE REQUIREMENTS OF ASTM A 153, CLASS B.
7. EPOXY GROUT SHALL BE NON-SHrink HIGH CREEP RESISTANT, AND SHALL HAVE THE FOLLOWING MINIMUM ALLOWABLE PROPERTIES:
 - A. TENSILE STRENGTH, ASTM C 30: 1,500 PSI
 - B. COMPRESSIVE STRENGTH, ASTM C 30: 1,500 PSI
 - C. COMPRESSIVE STRENGTH, ASTM C 579: 1,600 PSI / DAYS
8. MINIMUM LAP SPICES FOR REINFORCED C/M (WITH F_{ty} = 1,500 PSI)

BAR SIZE	#4	#5	#6	#7	#8
LAP SPICES SHALL OCCUR DIRECTLY ABOVE FOOTINGS AND SLABS.	24"	30"	36"	42"	48"
9. NO SPICES ARE ALLOWED AT JOINT HEIGHT OF WALL.

01 MASONRY FILLED CELL DETAIL

SCALE: N.T.S.

- MASONRY WALL NOTES:
1. WALL REINFORCEMENT SHALL BE REINFORCED WITH 6 GA. GALVANIZED LADDER TYPE HORIZONTAL JOINT REINFORCEMENT. WALL TIES, ANCHORS AND INSETS, APPLY A MINIMUM COAT OF 1.5 OUNCES PER SQUARE FOOT (PSY) (4.55 G/M²) COMPLY WITH THE REQUIREMENTS OF ASTM A 153, CLASS B.
 2. ALL MASONRY REINFORCED CELLS SHALL BE FILLED WITH 3000 PSI GROUT.

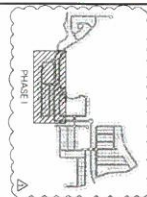


EDEN HILLS COMMUNITY SIGNAGE

LAKE ALFRED, FLORIDA

100% CONSTRUCTION DOCUMENTS
STRUCTURAL NOTES

CLIENT
THE CASSIDY
ORGANIZATION



Key Map

Scale: 1" = 100'

North Arrow

Legend

Site Plan

Signage

Notes

Revisions

Drawn By: J. Smith

Checked By: J. Smith

Approved By: J. Smith

Date: 07/28/2020

Scale: AS SHOWN

Drawn By: J. Smith

Checked By: J. Smith

Approved By: J. Smith

Date: 07/28/2020

Scale: AS SHOWN

Drawn By: J. Smith

Checked By: J. Smith

Approved By: J. Smith

Date: 07/28/2020

Scale: AS SHOWN

Sheet Number
HD-00

GENERAL HARDSCAPE NOTES

- [illegible]

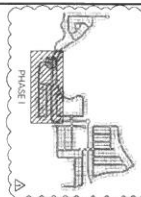
FINISH SCHEDULE NOTES

1. ALLOW 8 WEEKS MINIMUM WHEN ORDERING FOR DELIVERY AND SHIPPING TIME
2. PRECAST CONTRACTOR SHALL FIELD-VERIFY AND MEASURE ALL MONUMENT STRUCTURES PRIOR TO PRECAST CAP FABRICATION

FINISH SCHEDULE

FINISH SCHEDULE						
KEY	ITEM	DIMENSIONS	DESCRIPTION	COLOR / FINISH	PATTERN	MANUFACTURER
F-1	MOSAIC TILE FINER	12"x2"	PRODUCT ID: C14L 7715	DARK BLUE	MATCHED BRICK LAYOUT	CLASSIC POOL TILE WWW.CLASSICPOOLTILE.COM
F-2	ALUMINUM LETTERING	REFER TO DETAILS	PIN SET ALUMINUM LETTERING	POWDER COATED BRONZE	FONT TO BE DETERMINED	BY CONTRACTOR
F-3	ALUMINUM LOGO PANEL	REFER TO DETAILS	PIN SET ALUMINUM LASER CUT LOGO PANEL	POWDER COATED METALIC	REFER TO DETAILS	BY CONTRACTOR
F-4	SMOOTH STUCCO LIGHT GRAY	3/8" THICK 2 COAT FINISH	SMOOTH STUCCO COLOR PAINT	CHARLOTTE 2125-20	N/A	BEUTLHAM MOORE WWW.BEUTLHAMMOORE.COM
F-5	PRECAST CAP DARK BLUE	REFER TO DETAILS	SMOOTH FINISH COLOR PAINT	DARK ROYAL BLUE 2005-20	N/A	BEUTLHAM MOORE WWW.BEUTLHAMMOORE.COM
F-6	PRECAST CAP DARK GRAY	REFER TO DETAILS	SMOOTH FINISH COLOR PAINT	GRAYEL GRAY 2127-30	N/A	BEUTLHAM MOORE WWW.BEUTLHAMMOORE.COM
F-7	STONE FINER	REFER TO DETAILS	ALASKA GRAY ID# 17PMALASFIN024	ALASKA GRAY	N/A	MSI WWW.MSIUSPACES.COM

CLIENT: THE CASSIDY ORGANIZATION



Designed By

INNOVATIONS
E A I D E

Key Words

1201 HALL STREET, SUITE 300 ■ CHICAGO, IL ■ 60606
WWW.BROOKLYNLABS.COM TEL: 479-4003-7172

EDEN HILLS COMMUNITY SIGNAGE

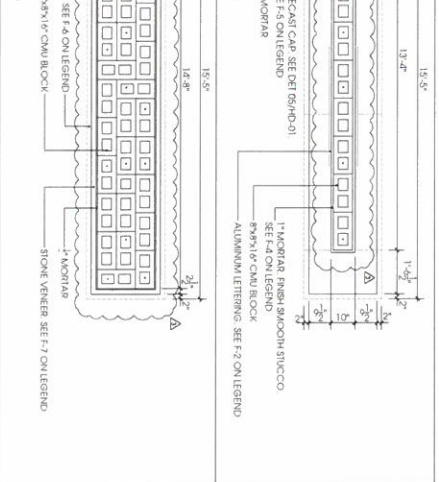
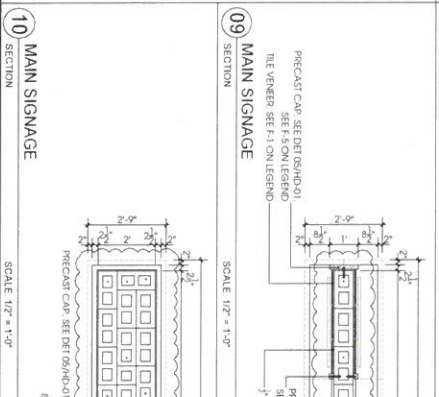
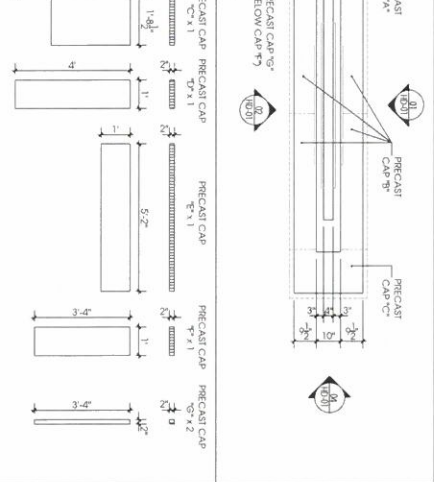
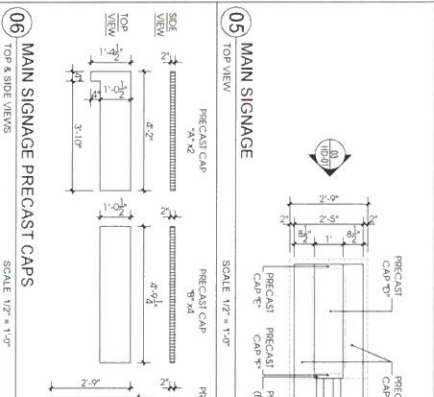
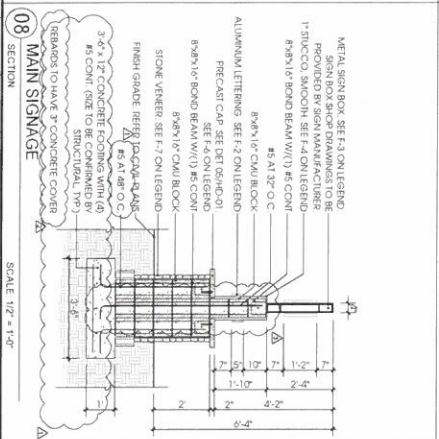
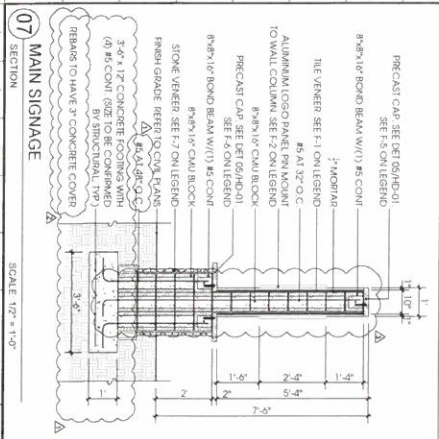
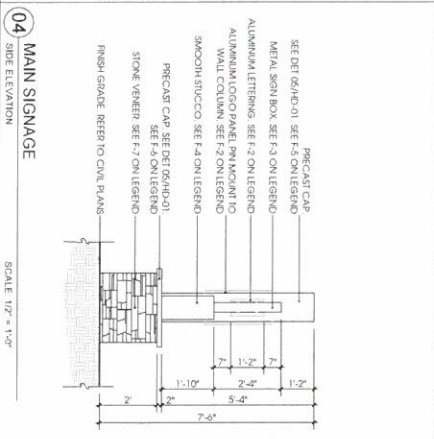
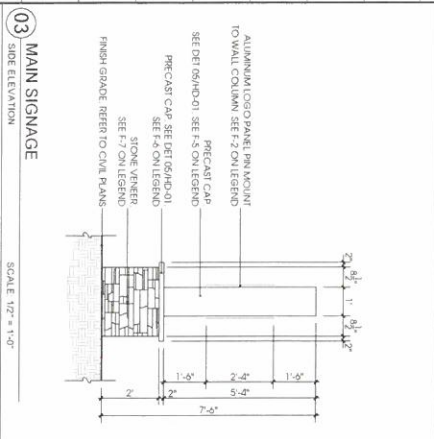
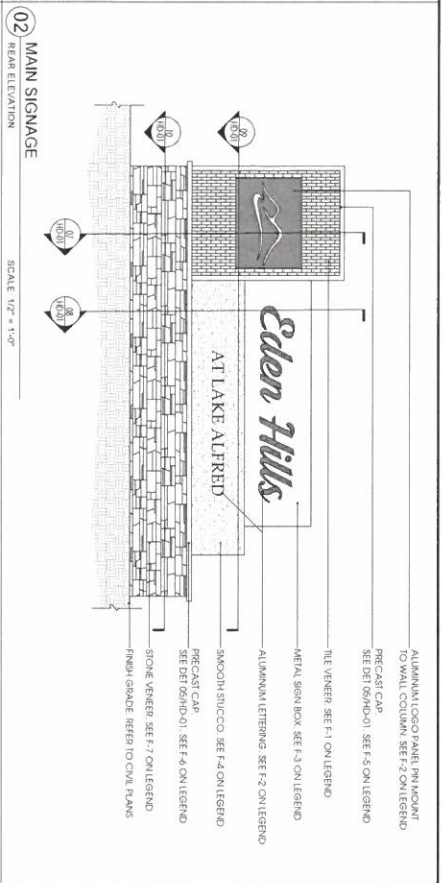
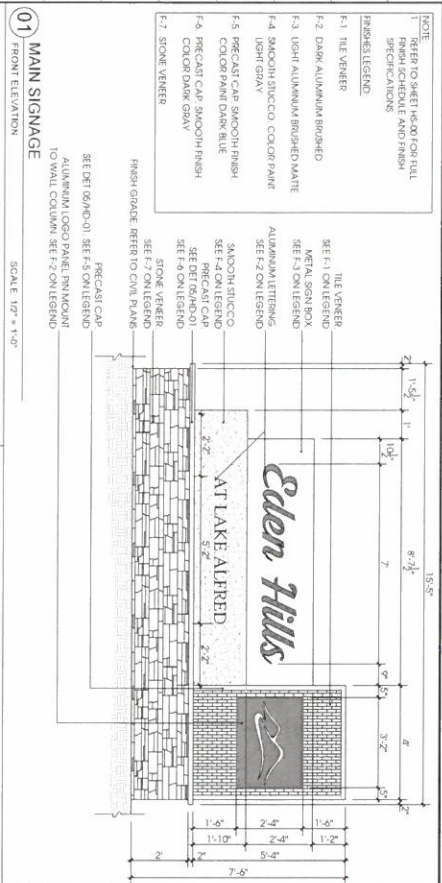
100% CONSTRUCTION DOCUMENTS
HARDSCAPE SCHEDULES & NOTES

Rev	Date	Description	By
1	10/15/2012	Inspector Comments	IDC
2			
3			
4			
5			
6			
7			

Date: 09/28/2020	Scale: AS SHOWN
Drawn By: GS	Designed By: GS
Approved By: PD	Project No: 21008

Seat:	Sheet Number:
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HS-00



EDEN HILLS COMMUNITY SIGNAGE
LAKE ALFRED, FLORIDA

100% CONSTRUCTION DOCUMENTS
HARDSCAPE DETAILS

CLIENT: THE CASSIDY ORGANIZATION

DESIGNED BY: INNOVATIONS

DATE: 09/28/2020

SCALE: AS SHOWN

Drawn By: G.S.

Checked By: G.S.

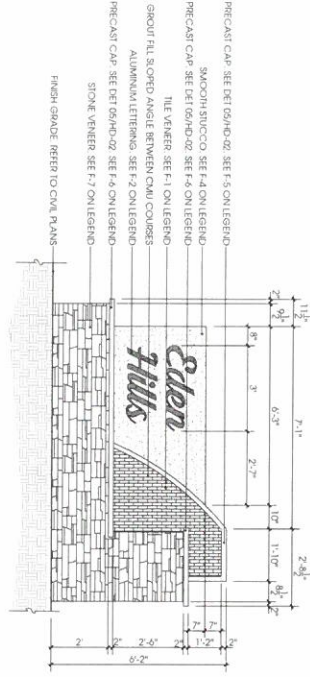
Approved By: P.D.

Project No: 21008

Sheet Number: HD-01

Rev.	Date	Description	By
1	10/15/2020	Inspector Comments	LDC
2	11/23/2020	Inspector Comments	LDC
3	12/01/2020	Inspector Comments	LDC
4	12/01/2020	Inspector Comments	LDC

- NOTE:
1. REFER TO SHEET HS-01 FOR
FULL FINISH SCHEDULE AND
FINISH SPECIFICATIONS
- FINISHES LEGEND
- F.1. THE VENEER
 - F.2. DARK ALUMINUM BRUSHED
 - F.3. LIGHT ALUMINUM BRUSHED
 - F.4. SMOOTH STUCCO COLOR
 - F.5. SMOOTH STUCCO COLOR
 - F.6. PAINT LIGHT GRAY
 - F.7. PRECAST CAP SMOOTH
 - F.8. PRECAST CAP PAINT DARK
 - F.9. PRECAST CAP PAINT DARK
 - F.10. PRECAST CAP SMOOTH
 - F.11. PRECAST CAP PAINT DARK
 - F.12. PRECAST CAP PAINT DARK
 - F.13. STONE VENEER

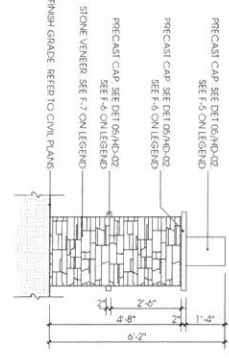
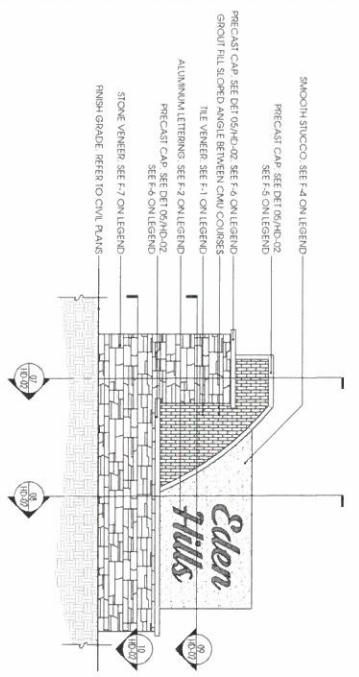


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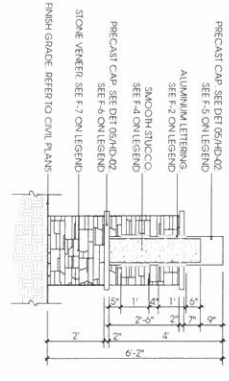
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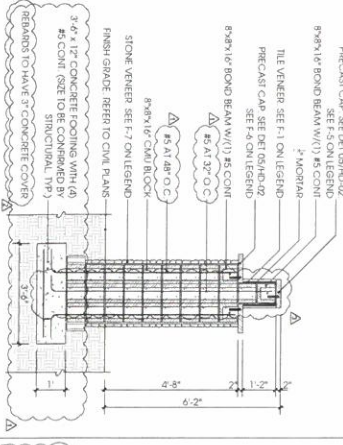
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SCALE: 1/2" = 1'-0"



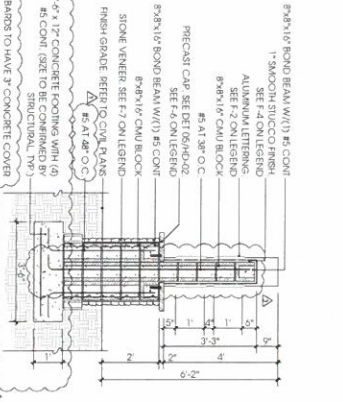
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SCALE: 1/2" = 1'-0"



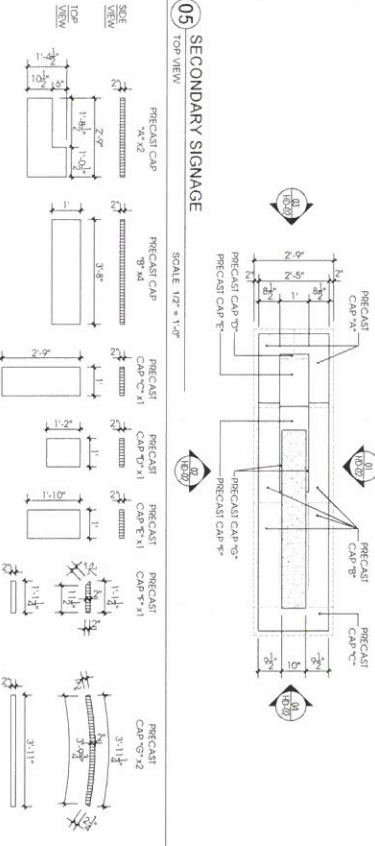
07 SECONDARY SIGNAGE

SCALE: 1/2" = 1'-0"



08 SECONDARY SIGNAGE

SCALE: 1/2" = 1'-0"

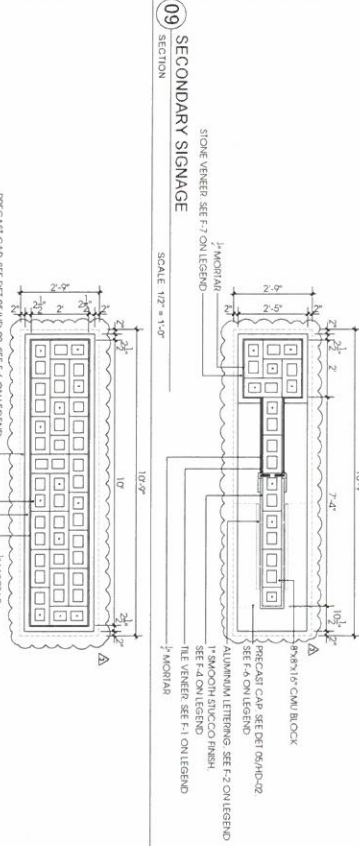


05 SECONDARY SIGNAGE

SCALE: 1/2" = 1'-0"

06 SECONDARY SIGNAGE PRECAST CAPS

SCALE: 1/2" = 1'-0"



09 SECONDARY SIGNAGE

SCALE: 1/2" = 1'-0"

10 SECONDARY SIGNAGE

SCALE: 1/2" = 1'-0"

Designed by
INNOVATIONS
dansk
PHASE I

EDEN HILLS COMMUNITY SIGNAGE
LAKE ALFRED, FLORIDA
100% CONSTRUCTION DOCUMENTS
HARDSCAPE DETAILS

Rev.	Date	Description	By
1	10/15/2020	Inspector Comments	LDC
2	11/23/2020	Inspector Comments	LDC
3	04/20/2021	Community Dev.	LDC

Date: 07/28/2020
Drawn By: SS
Checked By: SS
Approved By: RD
Project No: 21008

Sheet Number
HD-02

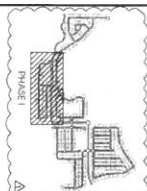
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Designed By:



INNOVATIONS

100% CONSTRUCTION DOCUMENTS
- (NO INFORMATION) -



CLIENT

THE CASSIDY
ORGANIZATION

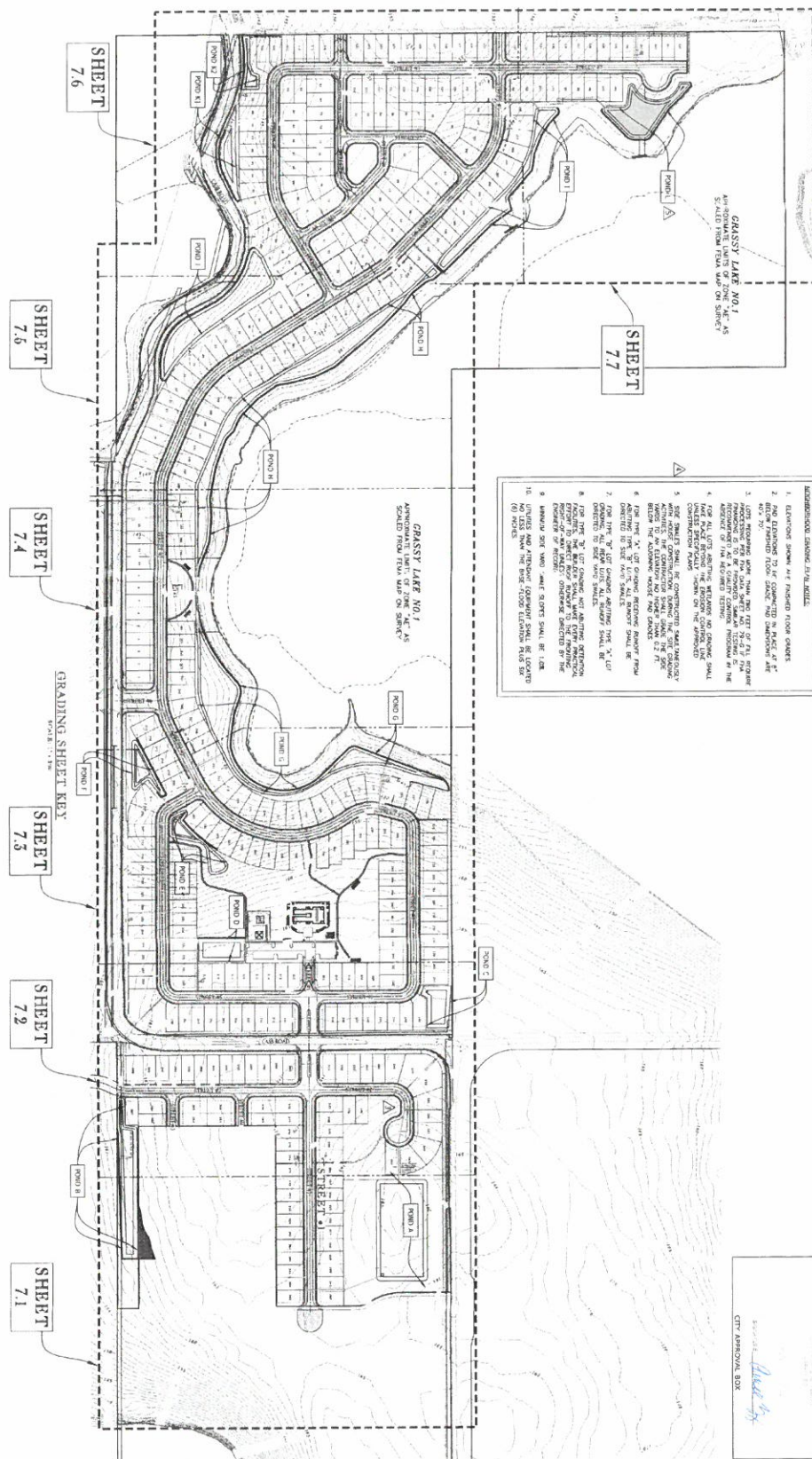
EDEN HILLS COMMUNITY
SIGNAGE
LAKE ALFRED, FLORIDA

100% CONSTRUCTION DOCUMENTS
- (NO INFORMATION) -

Rev.	Date	Description	By
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2			
3			
4			
5			
6			
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8			
9			
10			

Date: 09/28/2020
Drawn By: G.S.
Reviewed By: G.S.
Approved By: P.D.
Project No: 21008

Sheet Number: HD-03

[illegible][illegible]

A circular professional engineer seal for John Robert Bannon. The outer ring contains the text "JOHN ROBERT BANNON" at the top and "PROFESSIONAL ENGINEER" at the bottom. Inside the ring, the word "LICENSE" is at the top, "No 84128" is in the center, and "STATE OF FLORIDA" is at the bottom. A small star is positioned between the license number and the state name.

FEB 11 2022

EDEN HILLS PHASE 2

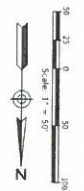
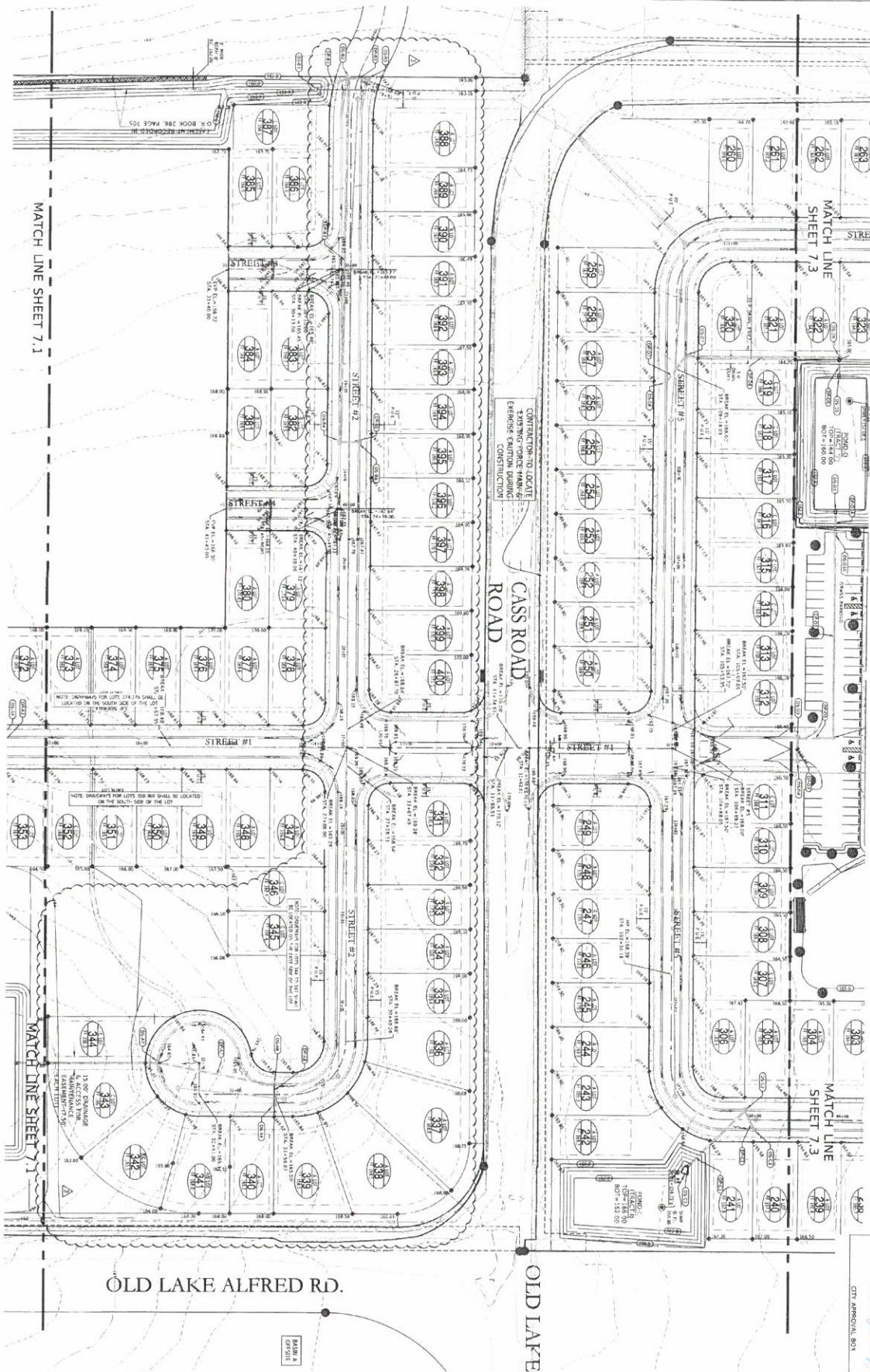
CITY OF LAKE ALFRED,
POLK COUNTY, STATE OF FLORIDA



WOOD
& ASSOCIATES
Engineering, Inc.

1125 BARTON ROAD LAKELAND, FL 33801
OFFICE (813) 940-2040 FAX (813) 940-2044
EMAIL: INFO@WOODCARE.COM

DATE	NO.	REVISIONS
07/16/21	3	REVISED PER CITY COMMENTS
11/11/21	4	REVISED PER CITY COMMENTS



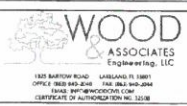
OLD LAKE ALFRED RD.

OLD LAKE



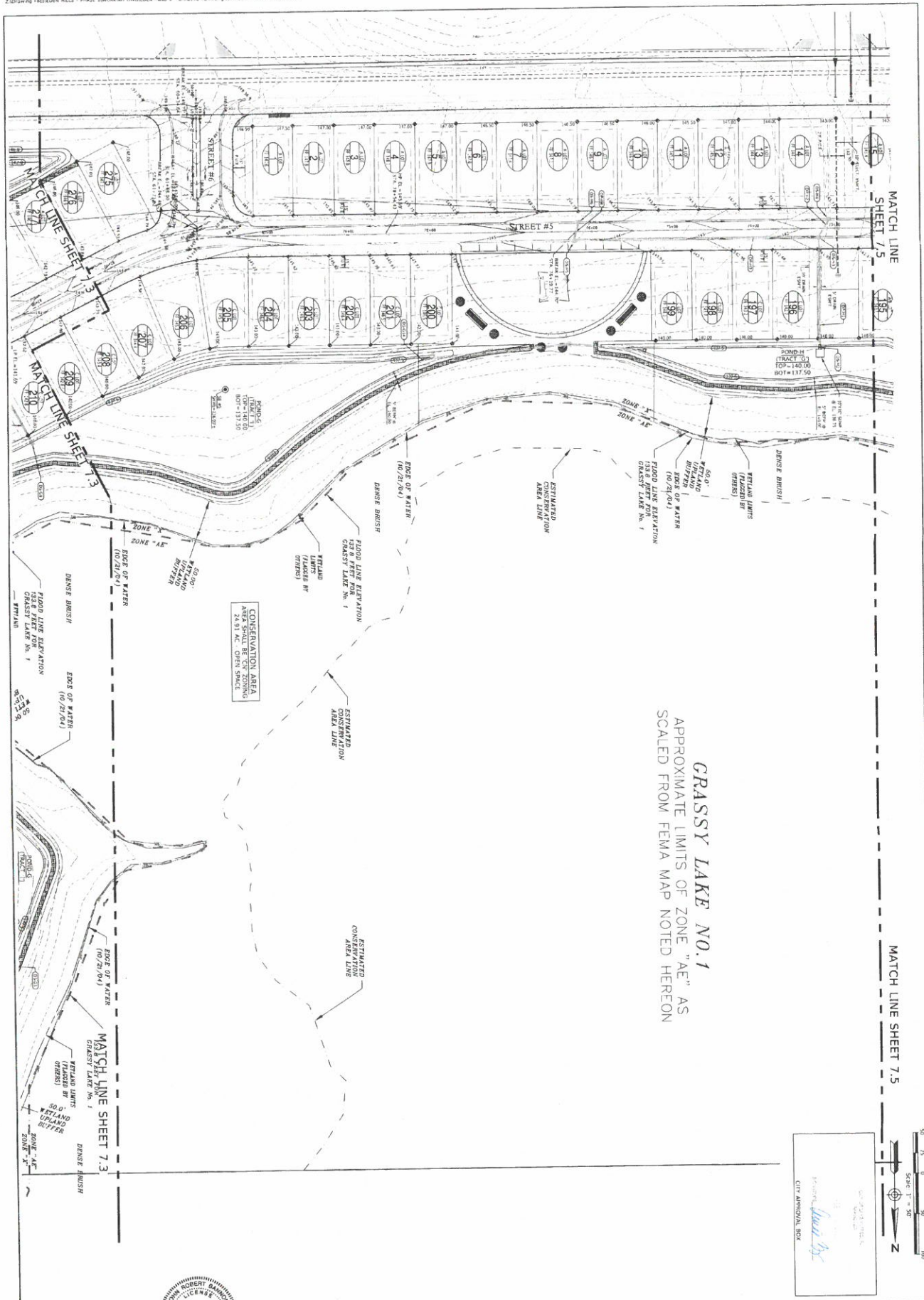
EDEN HILLS PHASE 2

CITY OF LAKE ALFRED, POLK COUNTY, STATE OF FLORIDA



DATE	NO.	REVISIONS
07/16/21	1	REVISED PER CITY COMMENTS

7.2
GRADING
PLAN

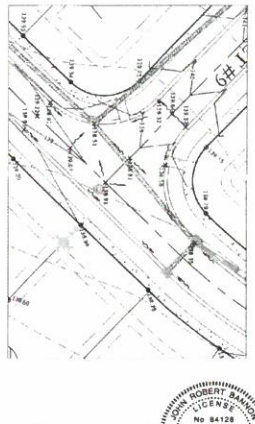
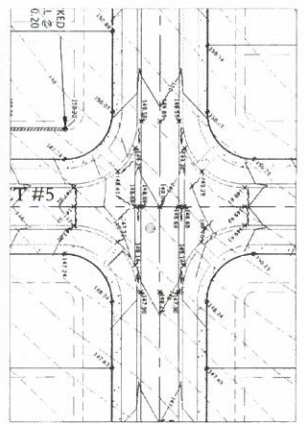
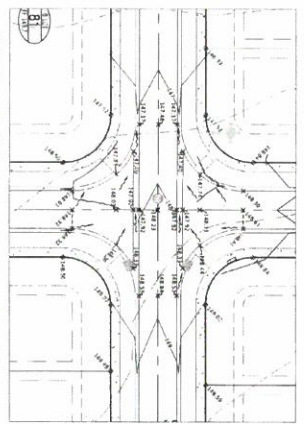
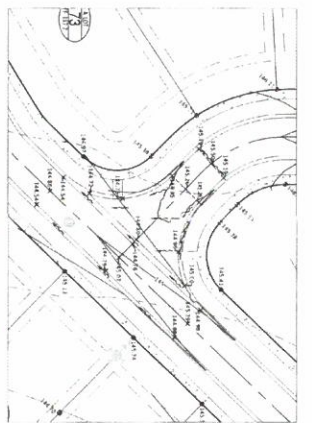
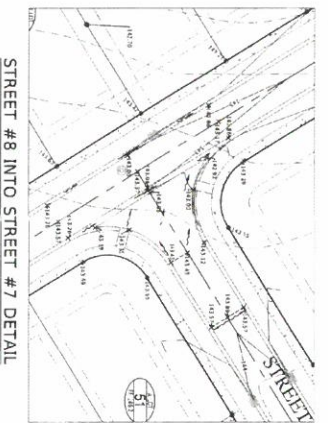
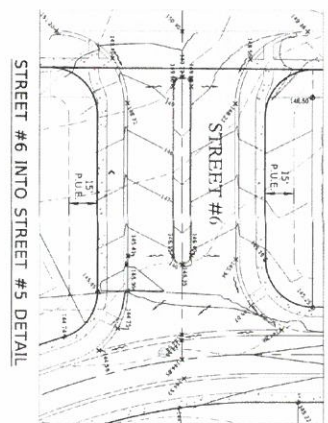
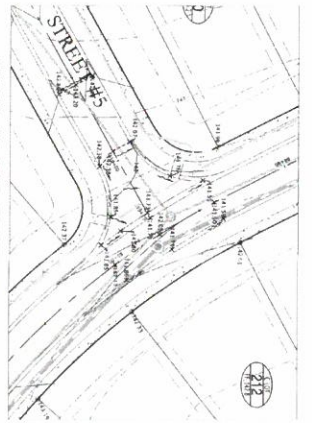
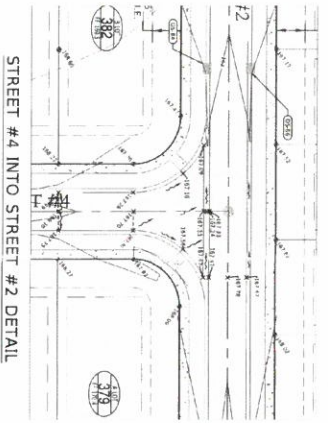
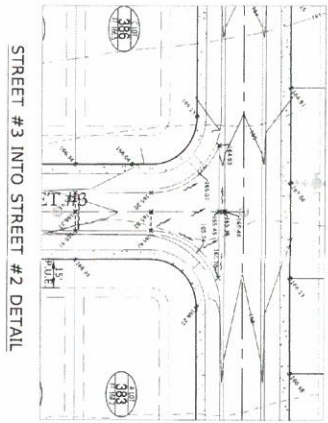
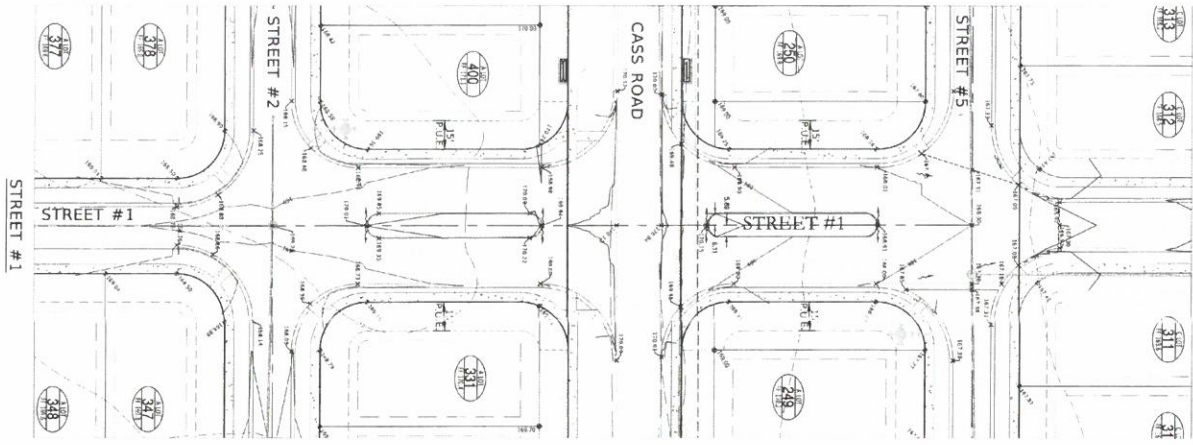


GRASSY LAKE NO.1
APPROXIMATE LIMITS OF ZONE "AE" AS
SCALED FROM FEMA MAP NOTED HEREON

MATCH LINE SHEET 7.5

APPROVED: *[Signature]*
DATE: 10/10/2012
CITY APPROVAL BOX

7.4 GRADING PLAN		EDEN HILLS PHASE 2 CITY OF LAKE ALFRED, POLK COUNTY, STATE OF FLORIDA		DATE: _____ NO.: _____ REVISIONS: _____
	CHS R. BANNOR, P.E. 98412 (01)	1015 BAYVIEW ROAD, LAKEWATER, FL 34601 OFFICE: (882) 946-2244 FAX: (882) 946-2244 EMAIL: INFO@WOODASSOCIATES.COM CERTIFICATE OF AUTHORIZATION NO. 2008	THIS PLAN WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND I AM A duly Licensed Professional Engineer in the State of Florida.	DATE: _____ NO.: _____ REVISIONS: _____



DESIGNED BY: *Wood Associates*
 CITY APPROVAL BOX

STATE OF FLORIDA
 PROFESSIONAL ENGINEER
 LICENSE No. 84128
 JOHN R. SANDOZ, P.E.

EDEN HILLS PHASE 2
 CITY OF LAKE ALFRED,
 POLK COUNTY, STATE OF FLORIDA

WOOD ASSOCIATES
 Engineering, LLC
 7200 BAYVIEW BLVD., SUITE 100
 LAKE ALFRED, FL 34701
 (813) 850-1000
 WWW.WOODASSOCIATES.COM
 CERTIFICATE OF AUTHORIZATION NO. 15008

DATE	NO.	REVISIONS

INTERSECTION
 GRADING
 DETAILS

SHEET
 7.8



JOHN R. BARNES, P.E.

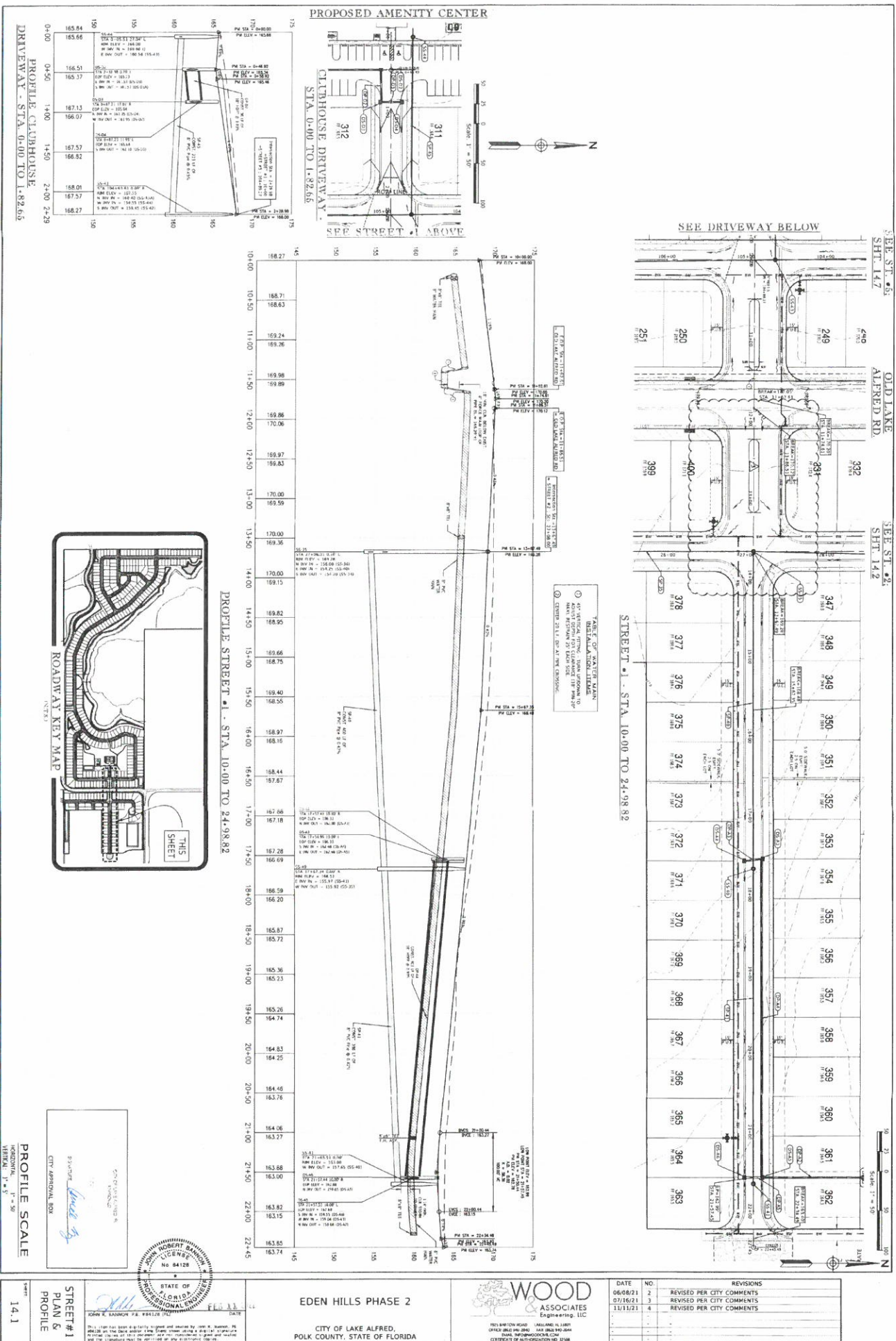
A circular professional engineer license stamp for John Robert Bannon, License No. 54128, State of Florida. The stamp is circular with a double-lined border. The outer ring contains the text "JOHN ROBERT BANNON" at the top and "PROFESSIONAL ENGINEER" at the bottom, separated by two small stars. The inner circle contains the word "LICENSE" at the top, "No 54128" in the center, and "STATE OF FLORIDA" at the bottom, also separated by two small stars.

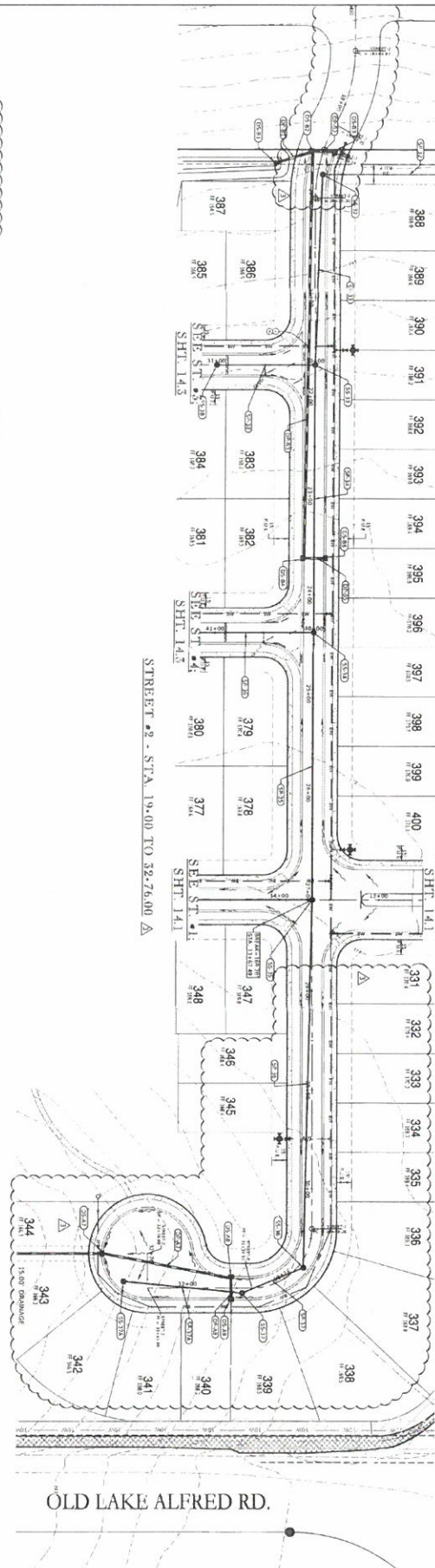
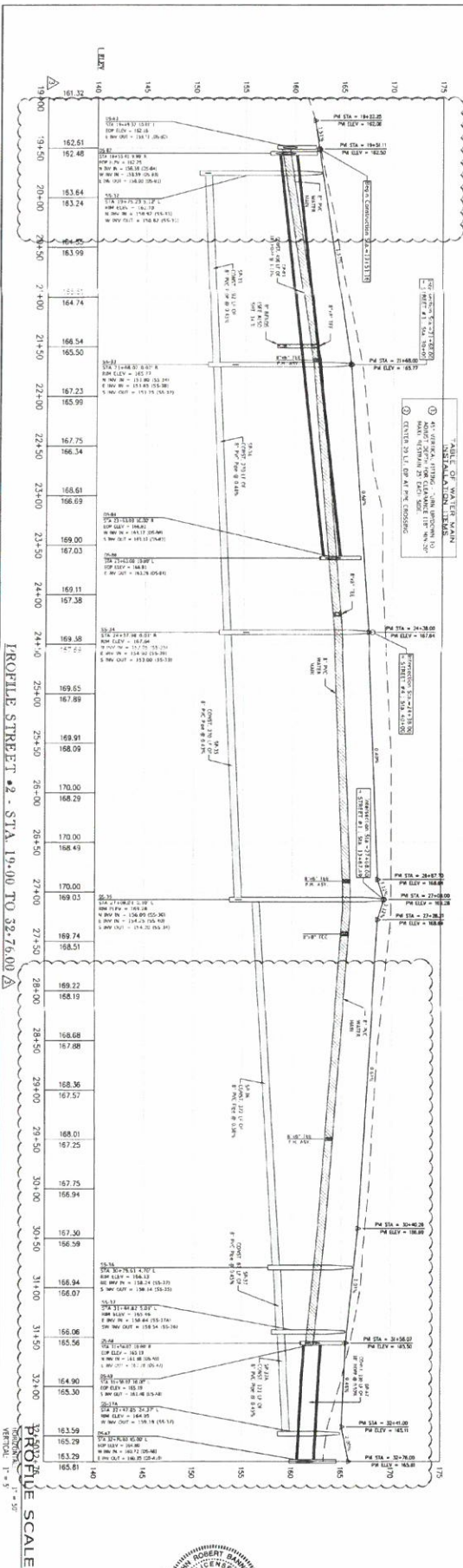


WOOD
& ASSOCIATES
Engineering, LLC

1925 SARTON ROAD LABELED FL 33601
OFFICE: (813) 940-0599 FAX: (813) 940-2666
EMAIL: INFO@WOODENGINEERING.COM
CERTIFICATE OF AUSTORIZATION NO. 125306

[illegible]





SEE ST. 1



EDEN HILLS PHASE 2

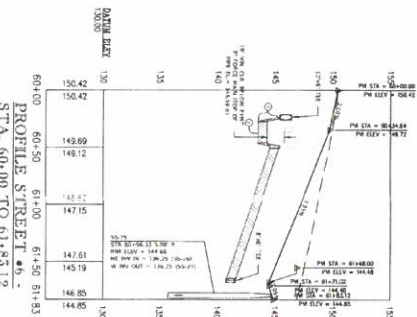
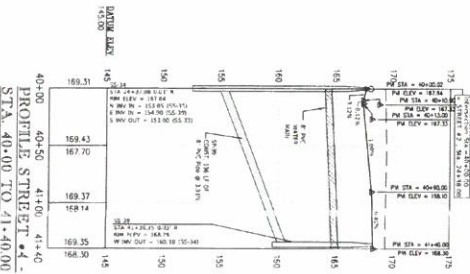
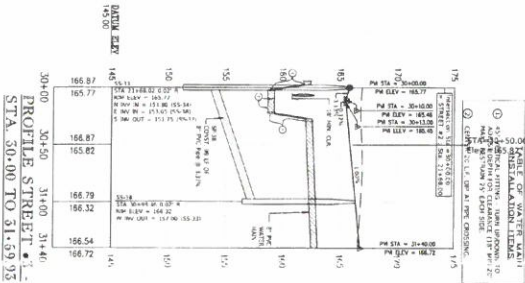
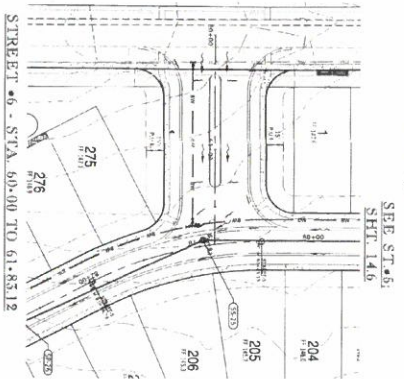
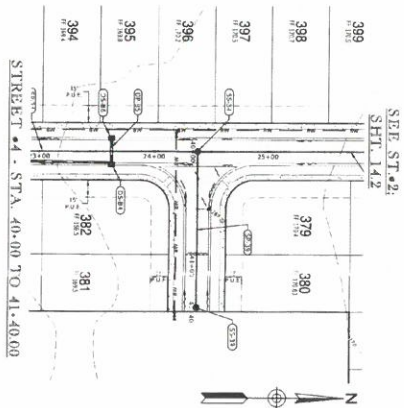
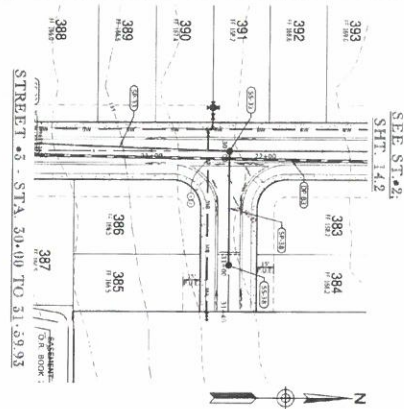
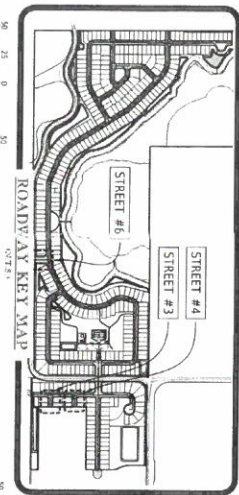
CITY OF LAKE ALFRED,
POLK COUNTY, STATE OF FLORIDA

WOOD ASSOCIATES
ENGINEERING, LLC
7025 BARTON ROAD
LAKE ALFRED, FL 34701
OFFICE: (888) 944-5044 FAX: (888) 944-5044
WWW.WOODASSOCIATES.COM
CERTIFICATE OF AUTHORIZATION NO. 12088

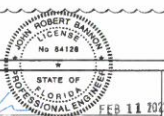
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06/06/21	2	REVISED PER CITY COMMENTS
07/16/21	3	REVISED PER CITY COMMENTS

14.2

STREET #2
PLAN &
PROFILE



PROFILE SCALE
HORIZONTAL: 1" = 50'
VERTICAL: 1" = 10'



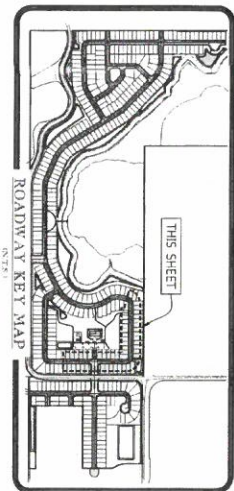
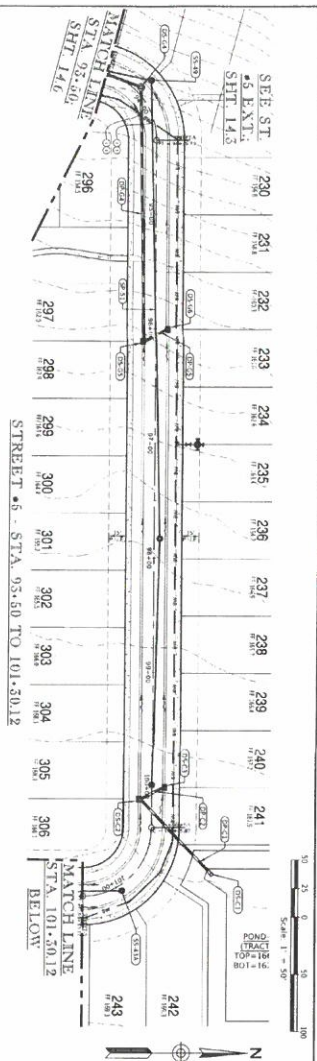
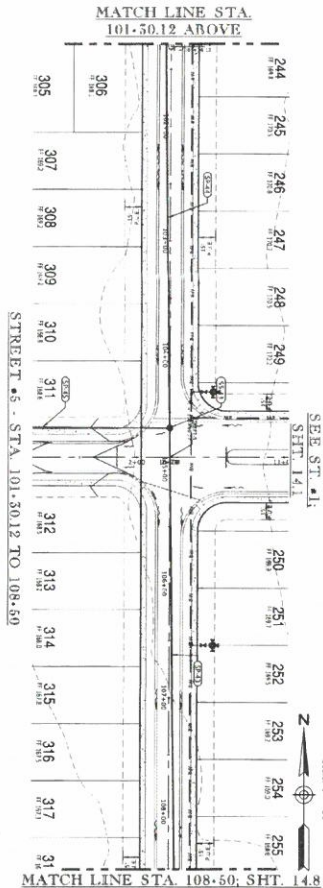
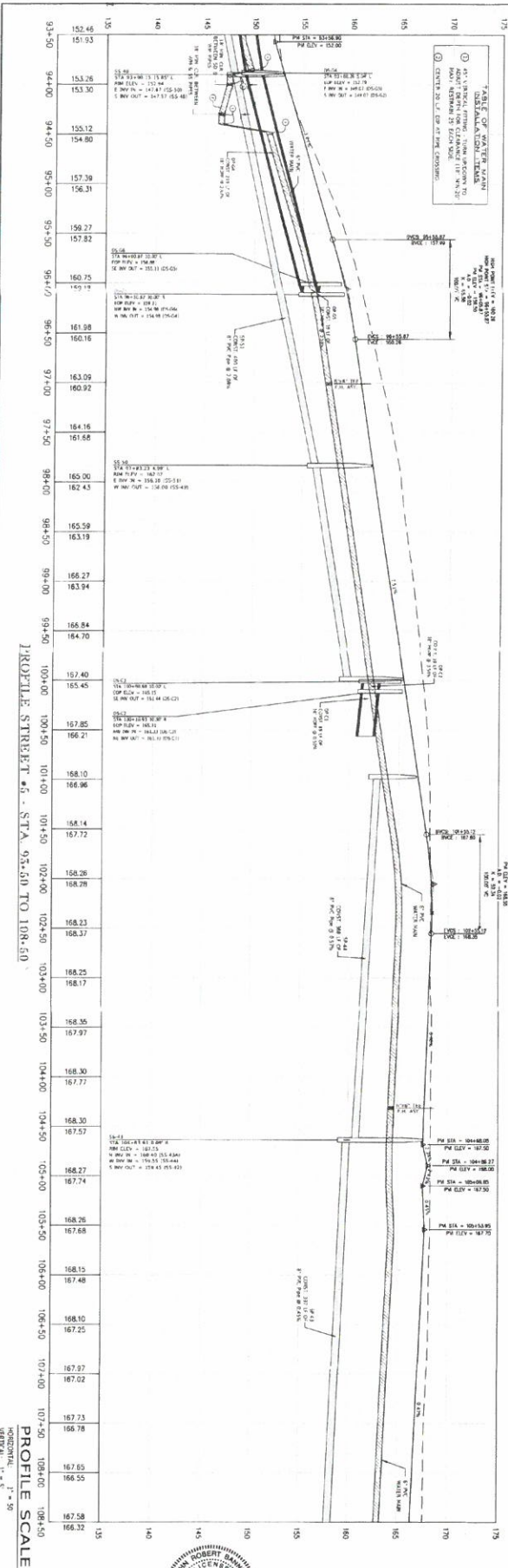
EDEN HILLS PHASE 2
CITY OF LAKE ALFRED,
POLK COUNTY, STATE OF FLORIDA

WOOD ASSOCIATES
Engineering, LLC
1905 WATSON BLVD. - LAKE ALFRED, FL 34706
OFFICE: 888-240-2546 FAX: 888-240-2546
EMAIL: INFO@WOODASSOCIATES.COM
CERTIFICATE OF AUTHORIZATION NO. 02408

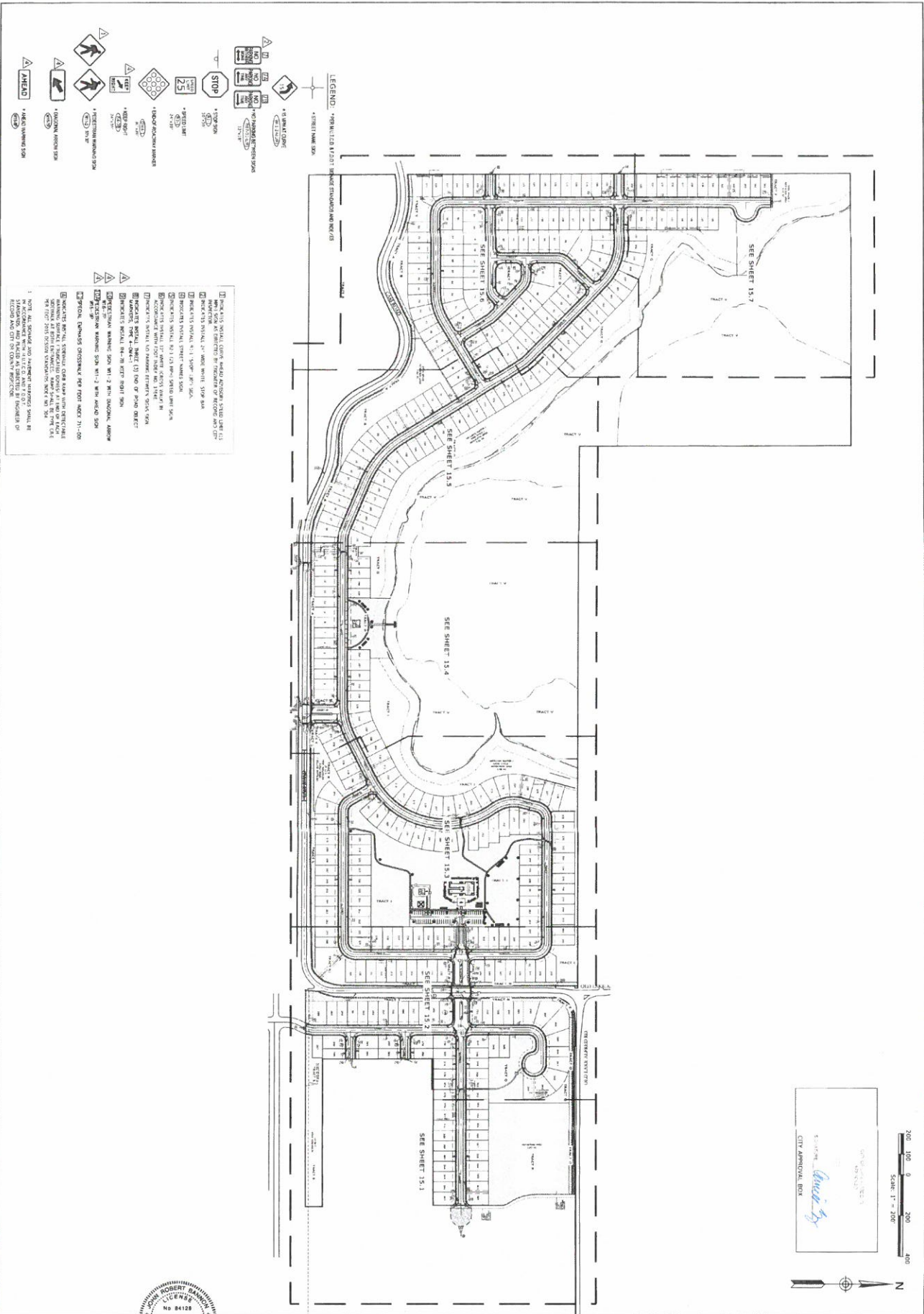
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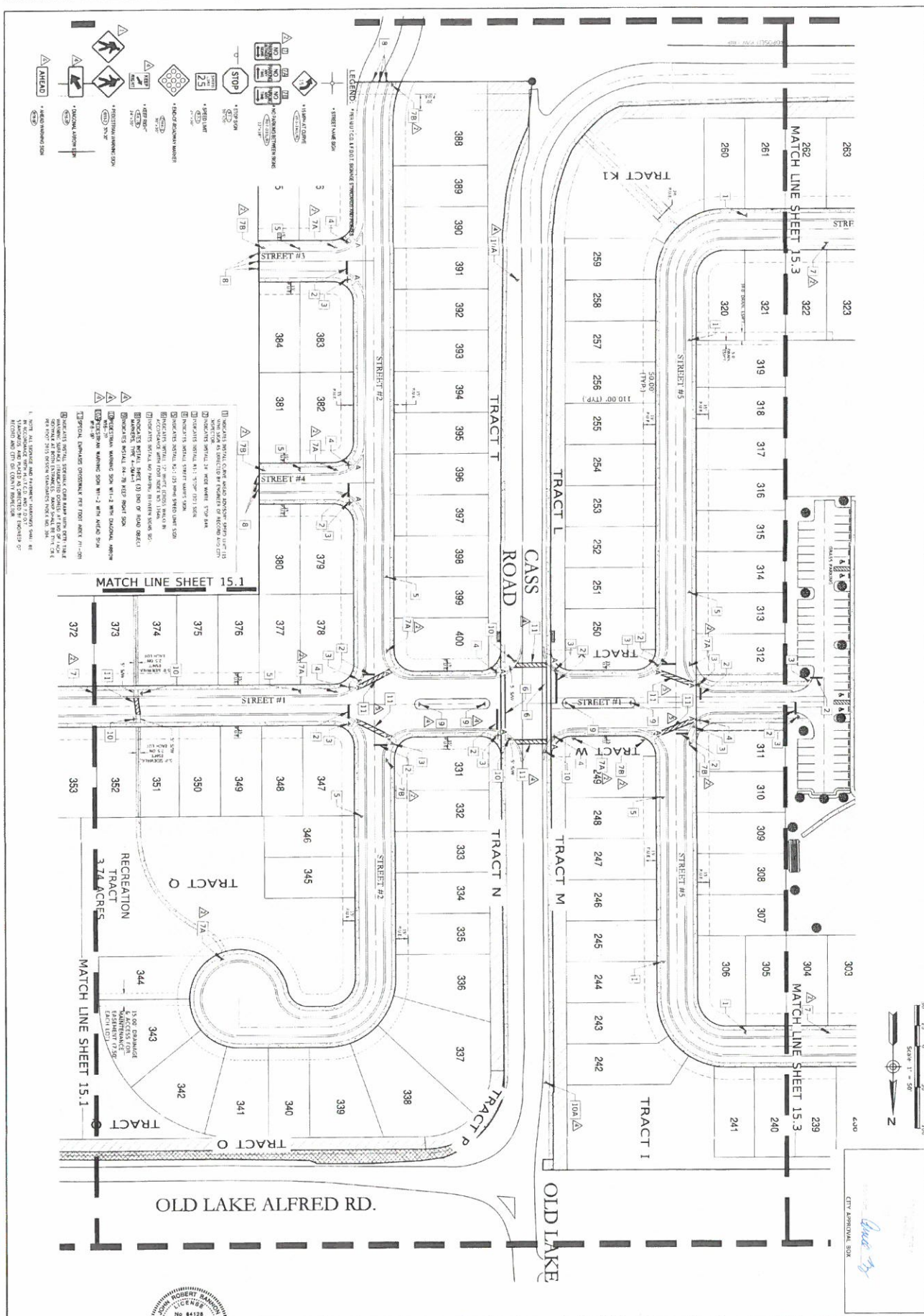
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APPROVED: *[Signature]*
DATE: *[Date]*


SHEET
14.3



THIS SHEET
CITY RESOLUTION BOX








STATE OF
FLORIDA
PROFESSIONAL ENGINEER
JOHN R. SHANNON, P.E. #12413
FEB 11 2012

EDEN HILLS PHASE 2

CITY OF LAKE ALFRED,
POLK COUNTY, STATE OF FLORIDA



WOOD
ASSOCIATES
Engineering, LLC

260 BAYVIEW ROAD - LAKELAND FL 33801
OFFICE AND HOME PHONE: 888-998-9989
FAX: 888-998-9989
E-MAIL: INFO@WOOD-FL.COM
WWW.WOOD-FL.COM

DATE		NO.	REVISIONS
4/13/21	1		REVISED PER CITY COMMENTS
06/08/21	2		REVISED PER CITY COMMENTS
04/30/23	3		REVISED PER CITY COMMENTS
11/11/21	4		REVISED PER CITY COMMENTS

DATE: _____

15.4

15.4

15.4

SECTION IX

SECTION B

SECTION 1



Dewberry Engineers Inc.
800 N. Magnolia Ave, Suite 1000
Orlando, FL 32803

407.843.5120
407.649.8664 fax
www.dewberry.com

Sent Via Email: jburns@gmscfl.com

May 3, 2023

Ms. Jillian Burns
District Manager
Eden Hills Community Development District
c/o Governmental Management Services
219 East Livingston Street
Orlando, Florida 32801

Subject: **Work Authorization Number 2023-1
Eden Hills Community Development District
Annual Engineer's Report 2023**

Dear Chairman, Board of Supervisors:

Dewberry Engineers Inc. (Engineer) is pleased to submit this Work Authorization to provide professional consulting engineering services for the Eden Hills Community Development District (CDD). We will provide these services pursuant to our current agreement ("District Engineering Agreement") as follows:

I. Scope of Work

We will provide the Annual Engineer's Report for the CDD as required by the Trust Indenture for this fiscal year. The report will address the requirements as detailed in Section 9.21 of the Trust.

II. Fees

The CDD will compensate the Engineer pursuant to the hourly rate schedule contained in the District Engineering Agreement. We estimate a budget in the amount of \$2,000, plus other direct costs. The CDD will reimburse the Engineer all direct costs, which include items such as printing, drawings, travel, deliveries, et cetera, pursuant to the Engineering Agreement.

Thank you for considering Dewberry. We look forward to helping you create a quality project.

Sincerely,

A blue ink signature of Rey Malavé, consisting of a stylized 'R' and 'M' followed by a horizontal line.

Rey Malavé, P.E.
Dewberry Engineers Inc.
Associate Vice President

May 3, 2023
Date

APPROVED AND ACCEPTED

By: Eric Lavoie
Authorized Representative of
Eden Hills
Community Development District

5/4/2023
Date

SECTION 2



Dewberry Engineers Inc. | 407.843.5120
800 N. Magnolia Ave, Suite 1000 | 407.649.8664 fax
Orlando, FL 32803 | www.dewberry.com

Sent Via Email: jburns@gmscfl.com

June 22, 2023

Ms. Jillian Burns
District Manager
Eden Hills Community Development District
c/o Governmental Management Services
219 East Livingston Street
Orlando, Florida 32801

Subject: **District Engineers Report - 2023
Eden Hills Community Development District
Bond Series 2020 and 2022
Section 9.21 of the Master Trust Indenture**

Dear Ms. Burns:

In accordance with Section 9.21 of the Master Trust Indenture for the Eden Hills Community Development District (CDD), we have completed our annual review of the portions of the project within this CDD as constructed to date. We find, based on said inspection and our knowledge of the community, that those portions of the infrastructure are being maintained in reasonable good repair.

We have reviewed the Operation and Maintenance budget for the Fiscal Year 2024 and believe that it is sufficient for the proper operation and maintenance of the Eden Hills CDD.

In addition, and in accordance with this Section 9.21 of the Master Trust Indenture, we have reviewed the current limits of insurance coverage and we believe that this is adequate for the community.

Should you have any questions or require additional information, please contact me at (321) 354-9656.

Sincerely,

A handwritten signature in blue ink, appearing to read "RM", with a long horizontal flourish extending to the right.

Reinardo Malavé, P.E.
District Engineer
Eden Hills Community Development District

RM:ap
Q:\Eden Hills CDD_50145928\Adm\Reports\Annual Engineer's Report\District Engineer's Report 2022 Bond Series 2020 and 2022_06-22-2023

SECTION C

Eden Hills CDD

Field Management Report



07/12/2023

Marshall Tindall

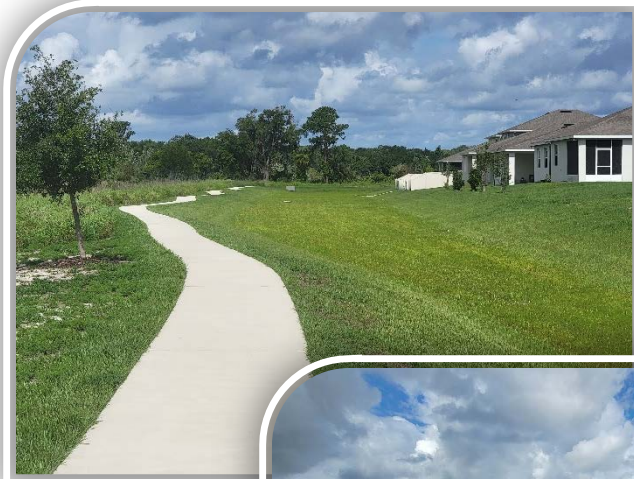
Field Services Manager

GMS

Complete

Landscaping Review

- Landscaper performance has been good as the busy rainy season has set in.
- The contractor has kept phase 1 well maintained with consistent mows and bed detailing.
- Amenity landscape has been maintained with 1x mows until a landscape contract is formally awarded per the requested rebid.



Complete

Amenity Review

- ✚ Amenity opened on 5/22/2023.
- ✚ Amenity pre-opening preparations were completed including lining up maintenance vendors, posting signs, and ensuring facility consumables were stocked.
- ✚ Maglock doors were installed. Door handle issue was resolved.



Complete

General Maintenance

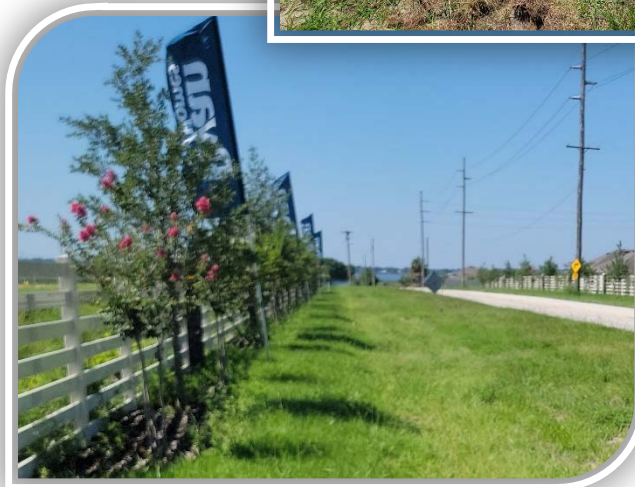
- ✚ Cleaned up debris in phase 1 pond.
- ✚ Approved solar light was installed at mailboxes.
- ✚ Playground ramp was relocated to corner with sidewalk.
- ✚ Reviewed the phase 2 dock – recommend sealing wood elements.
- ✚ Issue with entrance lighting in phase 1 was resolved under warranty by installer.



In Progress

Phase 2 Review

- ✚ Reviewing phase 2 areas for completion.
- ✚ Gathering landscape contract bids.
- ✚ Gathering pond contracts.
- ✚ Monitoring water levels in phase 1.
- ✚ Phase 2B is being reviewed as well for a contract proposal as well.



Conclusion

For any questions or comments regarding the above information, please contact me by phone at 407-346-2453 or by email at mtindall@gmscfl.com. Thank you.

Respectfully,
Marshall Tindall

SECTION 1

[Eden Hills CDD]

LANDSCAPE SCOPE OF WORK

The work for the landscape maintenance is to include the furnishing of all labor, materials, equipment, accessories, and services necessary or incidental to meet the requirements outlined in this scope below. The intention is to sustain all turf and plant materials in a healthy, vigorous growing condition, free from weeds, diseases, insects, and nutritional deficiencies as well as a completely operational irrigation system. All associated planted areas are to be kept in a continuous healthy, neat, clean and debris free condition for the entire life of the contract. The below scope is divided into “elements” to define the elements involved and required in the maintenance of the property.

General Services- Component “A”

Turf Maintenance

Turf maintenance is defined as all mowing, edging, trimming and cleanup of lawn areas. High traffic and high-profile areas such as the entrances and Amenity/clubhouse areas will be completely mowed, edged, trimmed and cleaned up prior to normal business hours of operation. In the event it becomes necessary to make a change in the mowing schedule for any reason, the CDD Management must be notified prior to adjustment of schedule. Mowing during inclement weather will not alleviate the contractor of responsibility for damage caused by the mowing of wet areas.

Mowing

Prior to mowing, remove and dispose of normal litter and debris from all landscape areas. Contractor will not run over litter with mowers.

St. Augustine, Bahia turf shall be mowed weekly during the growing season from April 1st through September 30th and bi-weekly during the winter season. It is understood that the contractor may be required to periodically add or delete mowing cycles based on weather or other factors with the consent of the CDD Management. Contractor should anticipate 42 mows annually for all common areas. Unirrigated pond areas and banks will be mowed 32 times annually as needed.

St. Augustine, zoysia and Bahia turf shall be cut with rotary mowers to maintain a uniform height. Bahia will be cut between 3.5” and 4.5”. St Augustine will be cut between 4.5” and 5.5”. Mowing heights will be set at 2”–3” for Zoysia turf. Mowing blades shall be kept sufficiently sharp and properly adjusted to provide a cleanly cut grass blade. Variation in the mowing pattern shall carried out when possible so as to not rut or cause paths.

Mowing of all ponds or wetland buffer areas shall be done with a 50” mower or larger discharging clippings away from the water. Any pond edges that cannot be reached with the full size mower will be string trimmed every other mow cycle at minimum or as needed to maintain an intended look as per the discretion of CDD management.

Visible clippings that may be left following mowing operations shall be removed from the site each visit. Discharging grass clippings into beds, tree rings or maintenance strips is prohibited and if it occurs they shall be removed prior to the end of each service day.

Contractor will take special care to prevent damage to plant material as a result of the mowing. Contractor is responsible for damages they cause while mowing.

Edging

Sidewalks, curbs, and concrete slabs, and other paved surfaces will be edged in conjunction with mowing operations each time. Beds, tree rings, and other landscape edges will be edged once during each detail rotation, every three weeks. Edging is defined as removal of unwanted turf and vegetation along the above borders by use of a mechanical edger. String trimmers are not to be used for edging and a proper edger will be used. Care will be taken to maintain bed edges as designed in either straight or curvilinear lines.

String Trimming

String Trimming shall be performed around road signs, guard posts, trees, shrubs, utility poles, and other obstacles where mowers cannot reach. Grass shall be trimmed to the same desired height as determined by the turf height specifications. String trimming shall be completed with each mowing cycle.

Maintaining grass-free areas by use of chemicals may be the preferred method in certain applications. Such use will only be done with prior approval of the CDD management.

Turf around the edge of all waterways shall be mowed or string trimmed to the natural water's edge during every other mowing cycle at minimum.

Blowing

When using mechanical blowers to clean curbs, sidewalks and other paved surfaces, care must be taken to prevent blowing grass clippings into beds, onto vehicles or onto other hardscape surfaces. In addition, care also must be taken to disrupt mulch from beds and any mulch blown out of beds must be placed back and raked smooth.

Damage Prevention/Repair

Special care shall be taken to protect building foundations, fencing, light poles, sign posts, monuments and other hardscape elements from mowing, edging or string trimming equipment damage. Contractor will agree to have repairs made by specialized contractors or reimburse the CDD or homeowners within 30 days for any damage to property caused by their crew members or equipment.

Detailing

Detailing of planted areas will be performed weekly in a sectional method, each section representing one-third of the entire property. Based on three sections, the contractor will completely detail the entire property once every three weeks at least. The exception will be the entrances, clubhouse areas and any other high profile or focal areas which should be tended to each week the crew is onsite. The detailing process will include trimming, pruning and shaping of all shrubbery, ornamental trees and groundcover, removal of tree suckers, structural pruning or cutbacks of select varieties of plant material and ornamental grasses as directed, as well as the defining of bed lines, tree saucers and the removal of all unwanted vegetation. A detail crew will be onsite at least one day per week 42-52 times per year as needed to accomplish the full amount of detail rotations.

Pruning

Prune trees, shrubs and groundcovers to encourage healthy growth and create a natural appearance. Prune to control the new plant growth, maintain the desired plant shape and remove dead, damaged, or diseased portions of the plant.

Use only hand pruners or loppers on trees and shrubs, particularly groundcover Juniper varieties. Hand shears or Topiary shears will be the preferred method of trimming most formal shrubs. Only use power shears on formal hedges where previous practice was to shear, or as directed by the CDD management.

Pruning of trees up to a height of 12 feet is included in the scope of the work. If pruning is required above the height of 12 feet, contractor shall propose an extra service to the CDD representative and acquire approval prior to performing the work. The branching height of trees shall be raised only for the following reasons:

Provide clearance for pedestrians, vehicles, mowers and buildings. Minimum 8ft of clearance is required along all walkways and parking areas. Maintain clearance from shrubs in bed areas. Improve visibility in parking lots and around entries.

Prune trees to remove weak branching patterns and provide corrective pruning for proper development. Cut back to branch collar without leaving stubs. Provide clean and flush cut with no tearing of the tree bark.

Prune to contain perimeter growth within intended bed areas. Established groundcover shall be maintained 4" to 6" away from adjacent hardscape and turf. Bevel or roll leading edges to avoid creating a harsh boxed look. Mature groundcover shall be maintained at a consistent, level height to provide a smooth and even appearance and separation from adjacent plant material.

Structural pruning will be required for several varieties of plants bi-annually, annually or semi- annually to maintain their scale and performance within the landscape. The methodology employed is to structurally prune one plant group throughout the entire property during the sectional detail rotation. All needed structural pruning will be done once per year at minimum. All Ornamental Grasses are to be haystack cut one time per year.

Crepe Myrtles are to be trimmed once per year in the winter months. Trimming should include removal of old blooms, sucker growth and any cross branching. Trimming should be done in such a way that cuts are no less than 12" away from previous year's cuts.

Pruning of all palms less than 15' in height will be included in the sectional rotation. Pruning consists of removal of all dead fronds, seedpods, and any loose boots.

Weed Control

Bed areas are to be left in a weed free condition after each detail service. While pre and post- emergent chemicals are acceptable means of control, weeds in bed areas larger than 3" shall be pulled by hand or string trimmed.

Hardscape cracks and expansion joints are to be sprayed in conjunction with the detail cycle to control weeds. Chemical practices shall not be a substitute for hand weeding where the latter is required.

Trash Removal

Removing trash from all landscape areas will be the responsibility of the contractor. The contractor will remove trash from all focal areas, including medians, around amenity areas, and monuments every visit. Other trash will be removed during normal detail rotations.

Policing

Contractor will police the grounds during each service visit to remove trash, debris and fallen tree litter as needed prior to mowing and edging. Contractor is not responsible for removal of excessive storm debris which would be performed with prior approval with supplemental proposal.

As needed contractor will dedicate supplemental personnel and specialized equipment to the removal of seasonal leaf drop from all landscape and hardscape areas during the months of November through April.

All litter shall be removed from the property and disposed of off-site.

Communication

Daily, the contractor will communicate with the CDD representative for any landscape issues requiring immediate attention.

Communication is of the utmost importance. Contractor will provide a weekly written report in a form approved by the CDD representative which highlights the main aspects of the previous week's maintenance activities. This can just be a checklist sent via email on Fridays or Mondays.

When requested by CDD management contractor will provide a Monthly Service Calendar for the upcoming period. **A copy of the preceding month's Irrigation Maintenance report and Lawn and Ornamental Fertilization report will be provided monthly.** A copy of these documents should be submitted to the CDD representative by the 5th of each month electronically, or in person. This is only necessary should management request, likely due to performance concerns, however the vendor should always have them should management request.

Contractor agrees to take part in regular weekly, bi-weekly or monthly inspections, as decided by CDD management, of the property to ensure their performance is satisfactory. *Contractor also agrees to complete any work that appears on punch lists resulting from inspections or reviews within three weeks of receiving them.* Contractor will have their Account Manager participate on its behalf and have their Lawn and Ornamental and Irrigation Managers or Technicians available for inspection meeting as needed or requested by CDD management.

Staffing

The Contractor shall have a well-experienced Foreman/Supervisor supervising all work onsite. This person should have knowledge of horticultural practices and be capable of properly supervising others. The Foreman/Supervisor should communicate regularly, daily when needed, with CDD management. Further, In order to maintain continuity, the same Foreman/Supervisor shall direct the scheduled maintenance operations throughout the year. Any anticipated changes in supervisory personnel shall be brought to the attention of the CDD representative prior to any such change. The intent is for maintenance personnel to familiarize themselves with the site.

The crew members should be properly trained to carry out their assigned task and should work in a safe professional manner. Each crew member should be in full uniform at all times.

Contractor is expected to staff the property with trained personnel experienced in commercial landscape maintenance. All personnel applying fertilizers, insecticides, herbicides, and fungicides must be certified by the state of FL. These individuals should be Best Management Practices Certified and hold a Limited Certification for Urban Landscape Commercial Fertilizer or a Certified Pest Control Operator or an employee with an ID card working under the supervision of a CPCO.

Contractor agrees to screen all crew members for criminal background. Also, contractor agrees to follow all INS guidelines for hiring and to maintain an I-9 and other required documents on each employee.

Holidays observed that do not require staffing include New Year's Day, Memorial Day, Independence Day, Labor Day, Thanksgiving Day and Christmas Day, and any other day agreed to by CDD Management. Normal working hours are from 7:00 AM until 7:00 PM. No power equipment will be operated near homes before 9:00 AM. Efforts will be made such that ALL work performed around the Amenity Areas and pool area is to be completed prior to busy attendance hours. Saturdays will be made available for makeup work due to inclement weather from 8:00 AM until 5 PM.

Component "B" – Turf Care Program

ST. AUGUSTINE

Application Schedule – Minimum schedule, if more is needed it is up to the contractor to recommend.

Monthly Application schedule – St. Augustine

- January: Winter fertilization, broadleaf weed control and disease control
- March: Spring granular fertilization, broadleaf weed control, insect, and disease control
- May: Late spring heavy, 100% slow-release Nitrogen fertilization with Arena and weed Control
- October: Heavy fall granular fertilization and broadleaf weed/disease control

Application Requirements: Fertilization

Contractor will submit a schedule of materials to be used under this program along with application rates. Annual program will include a maximum of 4 lbs. of N/1000 square feet with a minimum of 50% slow release and a high Potassium blend in the fall fertilization to promote root development unless soil samples indicate the presence of sufficient Potassium. The winter liquid fertilization should contain a maximum of .5lbs of N/1000 square feet.

BAHIA – Where Applicable (Irrigated areas only)

Application Schedule - Minimum schedule, if more is needed it is up to the contractor to recommend.

Monthly Application Schedule - Bahia

- March: Complete liquid fertilizer and broadleaf weed control to include blanket pre-emergent herbicide application.
- June: Chelated Iron application and Mole Cricket control.
- October: Complete liquid fertilizer and broadleaf weed control to include blanket pre-emergent.

Application Requirements: Fertilization

Contractor will submit a schedule of materials to be used under this program along with application rates. Annual program will include a minimum of 2 lbs. of N/1000 square feet with a minimum of 30% slow release and a high Potassium blend in the late summer fertilization to promote root development unless soil samples indicate the presence of sufficient potassium.

Zoysia

Application Schedule - Minimum schedule, if more is needed it is up to the contractor to recommend.

Monthly Application Schedule - Zoysia

- January: IPM spot treatment for weeds as necessary and inspect/treat fungal activity. February: Pre-emergent herbicide/spot treatment for weeds and fungal activity.
- March: Fertilization. Spot treat weeds and treat fungal and insect activity as necessary.
- April: Liquid Fertilization with .5lb N, with Iron, post emergent weed control, insect/disease control as necessary.
- May: Fertilization
- June: Insect/weed/disease control as necessary. July: Insect/weed/disease control as necessary.
- August: spot treat weeds as necessary, inspect/treat fungal activity.
- September: Liquid Fertilization with emergent weed control, insect/disease control as necessary. October: Fertilization - Weed/insect/disease control as necessary.
- November: Blanket Pre-emergent herbicide, w/Liquid Iron. Spot treat weeds and inspect/treat fungal activity.
- December: Blanket potash - weeds as necessary, inspect/treat fungal activity.

Application Requirements: Fertilization

All fertilizers utilized under this program are to be custom blended with a balanced nutrient package. A complete minor and trace element package will be included with each application to ensure that all the requirements of grasses are met. If soil samples indicate a high pH, all fertilizers utilized will be Sulphur coated products.

Insect/Disease Control

The reduction of irrigation water during the winter season will dramatically reduce the potential for fungus/disease problems. Contractor will be responsible to manage settings of irrigation timers.

Supplemental insecticide applications will be provided in addition to the normal preventive programs needed to provide control.

Weed Control

Weed control will be limited to the broadleaf variety and sedge type grasses under this program.

Contractor shall alert management of outbreaks of Crabgrass, Bermuda, Alexander and Dove grasses. Failure to do so will make the contractor liable for resulting turf loss. Supplemental insecticide applications will be provided in addition to the normal preventive program as needed to provide control.

Warranty

If the grass covered under this turf care program dies due to insect infestation, disease or improper fertilizer application, the affected grass will be replaced at no charge. Contractor will not be held responsible for turf loss due to conditions beyond their control. This includes nematodes, diseases such as Take-All Root Rot and weeds such as Crabgrass which are untreatable with currently available chemicals, high traffic areas, drainage problems, or acts of God. In the event these conditions exist, the contractor is responsible to employ whatever cultural practices can be reasonably performed to extend the life of the affected material.

All fertilizers utilized under this program are to be custom blended with a balanced nutrient package. A complete minor and trace element package will be included with each application to ensure that all the requirements of grasses are met. If soil samples indicate a high pH, all fertilizers utilized will be Sulphur coated products.

All hardscape surfaces are to be blown off immediately following a fertilizer application to prevent staining. The irrigation system will be fully operational prior to any fertilizer application.

Soil testing will be carried out when needed at contractors' recommendation. Any changes to the fertilization schedule, products used, or techniques will be discussed with CDD management and agreed to by CDD management.

Component “C” – Tree/Shrub Care Program

Application Schedule – Trees and Shrubs

Monthly Application Schedule -

- March/April: Insect/disease control/fertilization. May/June: Insect/disease control as needed.
- July/August: Minor nutrient blend with insect/disease control.
- October: Disease control as needed December. Insect/disease control/fertilization as needed.

Application Requirements: Fertilization

Contractor will submit a schedule of materials to be used under this program along with application rates. Fertilizers selected must be appropriate for the plant material to be fertilized such as an acid forming fertilizer for Azaleas which require a lower soil pH.

Contractor will submit a schedule of materials to be used under this program along with application rates. Annual program will include a minimum of 50% slow-release Nitrogen and a high Potassium blend in the fall fertilization to promote root development unless soil sample results indicate the presence of sufficient Potassium.

All fertilizers utilized under this program are to be custom blended with a balanced nutrient package. A complete minor and trace element package will be included with each application to ensure that all the requirements of plant material are met. If soil samples indicate a high pH, all fertilizers utilized will be Sulphur coated products.

This program covers all fertility requirements on all existing shrubs and palms, as well as all newly installed shrubs, trees, and palms up to 35'. All native trees or transplanted trees over 35' in overall height will require special consideration and are therefore excluded from this program.

There will be a deep root feeding on an as needed basis to establish newly planted trees. Fertilizer will be distributed evenly under the drip zone of each plant. Special care will be taken not to “clump” fertilizer neither at the base nor in the crown of plants.

The irrigation system will be fully operational prior to any fertilizer application.

Soil testing will be carried out when needed at contractors’ recommendation. Any changes to the fertilization schedule, products used, or techniques will be discussed with CDD management and agreed to by CDD management.

Insect/Disease Control

Insect and disease control is intended to mean a thorough inspection of all plantings for the presence of insect or disease activity and the appropriate treatment applied. All insect and disease infestations require follow-up applications for control and are included in this program.

Contractor is responsible for the continuous monitoring for the presence of damaging insects or disease. Any problems noted between regularly scheduled visits will be treated as a service call and responded to within 48 hours. Service calls due to active infestations are included in this program.

This program covers all disease and Insect activity on all existing shrubs and palms, as well as all newly installed shrubs, trees, and palms up to 35’. All native trees or transplanted trees over 35’ in overall height will require special consideration and are therefore excluded from this program.

Contractor will be required to apply all pesticides in accordance with labeled directions including the use of any Personal Protective Equipment.

Specialty Palms

Considering the investment in Specialty Palms such as Phoenix varieties (i.e. Dactylifera, Sylvester, Senegal Date etc.), contractor will include in their proposed Tree/Shrub program, a comprehensive quarterly fertilization and root/bud drench for potential disease and infestation.

When applicable, the contractor will monitor site tubes that have been installed to monitor ground water build up around the root ball of specimen palms to de-water them as necessary.

Warranty

If a plant or tree dies from insect or disease damage while under this Tree/Shrub Care Program, it will be replaced with one that is reasonably available by contractor if it is reasonably decided to be from negligence by the contractor determined by CDD management. Exclusions to this warranty would be Acts of God, along with pre-existing conditions, i.e. soil contamination or poor drainage, nematodes, borers, locusts and insects such as Asian Cycad Scale. Also excluded are diseases such as Verticillium and Fusarium Wilt, TPDD, Lethal Bronzing, Entomosporium Leaf Spot Fungus and Downey Mildew that are untreatable with currently available chemicals. In the event these conditions exist, the contractor is responsible to promptly report any detection to the CDD representative.

Component “D” – Irrigation Maintenance

Frequency of Service

Contractor will perform the following itemized services under “Specifications” on a monthly basis completing 25% of the inspection each week. The irrigation inspection will should be performed during the same week(s) each month. Repairs under \$500 should be carried out each month with just verbal confirmation. Anything over \$500 requires written approval.

Specifications

- Activate each zone of the system.
- Visually check for any damaged heads or heads needing repair.
- Visually check all landscape areas irrigated with Netafim drip lines to ensure proper water flow and pressure.
- Clean filters located at each zone valve monthly if applicable. Clean, straighten or adjust any heads not functioning properly.
- Straighten, re-attach to bracing and touch up paint on riser heads as needed. Report any valve or valve box that may be damaged in any way.
- Leave areas in which repairs or adjustments are made free of debris.
- Adjust controller to the watering needs as dictated by weather conditions, seasonal requirements, and water management district restrictions including adjusting of rain sensors.
- Contractor will provide a written report of the findings by zone. Qualifying Statements
- Repairs
- Repairs that become necessary and that are over and above the routine monthly inspections will be done on a time and material basis. Hourly irrigation repair rates will be defined in overall landscape maintenance contract.
- Request for authorization must be submitted to the CDD representative for approval. A description of the problem, its location and estimated cost should be included. All repairs must be approved by the CDD representative prior to initiating any work. It is up to CDD management’s discretion to allow contractor to proceed with repairs at an agreed threshold without prior approval.

Service Calls

Service Calls required between scheduled visits will be billed on a time and material basis at the rates extra pricing rates.

When not an emergency, request for authorization must be submitted in written form to the CDD representative for approval. A description of the problem, its location and estimated cost should be included. All repairs must be approved by the CDD representative prior to initiating any work.

Contractor will pay special attention during irrigation (IMC) maintenance inspections to ensure that sprinkler heads are positioned so that water does not spray directly onto buildings, windows, or parking areas.

Contractor will be held responsible for any accident that arises from the over spray of water on hard surfaces if it is determined that the contractor was negligent in performing monthly irrigation maintenance.

Damage resulting from contractor’s crews working on the property (i.e., mower and edger cuts) will be repaired at no charge to the CDD within 24 hours of being detected.

Contractor shall not be held responsible for any system failure caused by lightning, construction work, pre-existing conditions, freeze or other acts of God.

Contractor shall not be held responsible for damage to the landscape caused by mandatory water restrictions placed on the property by the governing water management district.

Contractor will visually inspect irrigation system weekly while performing routine maintenance.

Contractor will provide a 24 hour "Emergency" number for irrigation repairs.

Contractor shall take all required readings from meters or at pump stations as required and work with the CDD representative to file all quarterly and/or semi-annual reports to the Water Management District.

Component "E" – Additional Services

To be priced separately but as part of the landscape contract. These services are subject to bids at management's discretion at any point.

Note: Additional services work is to be considered as a supplement of the overall Landscape Maintenance contract. All Special Services work is to be performed by supplemental crews. CDD management can bid out these services at their discretion and work is to be completed according to this scope, or as CDD Management agrees. In addition, contractor should and is expected to recommend when they believe these services should be carried out in their bid documents. Additionally, all "Additional Services" will be billed in the month they are performed as a separate line item on that month's invoice. Additional services costs will not be spread out across the full annual contract.

E. 1 - Bedding Plants – Annuals (If Applicable)

The nature and purpose of "Flower Beds" is to draw attention to the display. The highest level of attention should be placed on their on-going care.

Schedule

The most appropriate seasonal annuals will be used. A standard yearly rotation includes but is not limited to: All flower beds on the property will be changed out four (4) times per year during the months of January, April, July, and October. Changes to the amounts of annuals, rotations timing, or date of installation can be made at CDD management discretion.

Contractor recognizes that flower beds are intended to highlight and beautify high profile areas and should be selected for color, profusion, and display.

All newly planted beds will have a minimum of 50% of the plants in bloom at the time of installation and they shall be 4 ½" individual pots.

Contractor will obtain prior approval of plant selection from the CDD representative 2 weeks before installation.

Installation

Plants are to be installed utilizing a triangular spacing of 9" O.C. between plants.

Annually, prior to the Spring change out, existing soil will be removed to a depth of 6" in all annual beds and replaced with clean growing medium composed of 60% peat and 40% fine aged Pine Bark.

All beds will be cleaned, and hand or machine cultivated to a depth of 6" prior to the installation of new plants.

Create a 2" trench where the edge of the bed is adjacent to turf or hardscape.

A granular time-release fertilizer and a granular systemic fungicide will be incorporated into the bedding soil at the time of installation.

All beds should be covered with 1" layer of Pine bark Fines after planting.

Follow-up applications of fertilizer, fungicide and insecticide are provided as needed.

Annuals that require replacement due to over-irrigation or under-irrigation will be replaced immediately by contractor without charge to the CDD.

Maintenance

Flower beds unique to the property will be reviewed daily or at each service visit for the following:

Removal of all litter and debris.

Beds are to remain weed – free at all times.

All declining blooms are to be removed immediately.

Inspect for the presence of insect or disease activity and treat immediately.

Seed heads are to be removed from plants as soon as they appear. "Pinching" of certain varieties weekly is to be a part of the on-going maintenance as well. Frequent "pinching" will result in healthier, more compact plants.

Prolific bloomers such as Salvia require that 10% to 20% of healthy blooms are to be removed weekly. Pre-emergent herbicides are not to be used in annual beds.

Contractor guarantees the survivability and performance of all annual plantings for a period of 90 days. Any plant that fails to perform during this period will be immediately replaced at the contractor's expense.

Warranty

Any bedding plant that dies due to insect damage or disease will be replaced under warranty.

Exclusions to this warranty would be freeze, theft, or vandalism.

E.2 - Bed Dressing

Application of designated mulching to community bed spaces.

Schedule

Mulching will be carried out twice per year. Once in the spring, once in the fall. The most desirable months are May and Early November. Mulch will be priced “per yard”. Application will be completed within a two-week time period.

Installation

Prior to application, areas will be prepared by removing all foreign debris and establishing a defined, uniform edge to all bed and tree rings as well as a 1” to 2” deep trench along all hardscape surfaces to include equipment pads, in order to hold the mulch in place. Bed dressing should be installed in weed free beds that have been properly edged and prepared.

Bed Dressing should be installed to maintain a 2” thickness in all bed areas, including tree rings in lawn areas and maintenance strips unless otherwise directed by the CDD representative. Some areas will require more mulch than others. Focal areas are to be prioritized. If at any point the application does not allow enough yards to maintain 2-inch depth across beds, then an additional proposal will be created by the contractor for the additional needed yards.

E.3 - Palm Trimming Schedule

Specimen Date Palms such as Phoenix varieties (i.e. Dactylifera, Sylvester, Senegal Date, etc.) in excess of 12’ will be trimmed up to two times per year in June and/or December as needed. All vegetation will be removed from their trunk and nut and loose or excessive boots will be removed and/or cross cut during this process. Contractor will monitor for disease and recommend treatment if necessary.

All palms less than 15’ will be trimmed as needed by the detail crew during the regular detail rotation as outlined in General Services.

Washingtonia palms in excess of 15’ will be trimmed up to two times per year in the months of February and August as needed.

All palms other than Washingtonia, in excess 15’ will be trimmed up to once per year in the month of August.

Trimming shall include removal of all dead fronds, loose boots and seed stalks.

Trim palms so that the lowest remaining fronds are left at a ten and two o’clock profile or nine and three o’clock at the discretion of management. “Hurricane” cuts are only to be done at the direction of the CDD representative.

When trimming, cut the frond close to the trunk without leaving “stubs”.

It is imperative that the contractor use clean and sanitized tools, sanitizing their tools thoroughly from tree to tree.

NOTES AND LEGEND

- PCP - PERMANENT CONTROL POINT - SET PK NAIL & DISK
"PCP PENNONI LB-8126" - UNLESS OTHERWISE NOTED
- PRM - PERMANENT REFERENCE MONUMENT - SET 4" X 4"
CONCRETE MONUMENT AND CAP "PRM PENNONI LB-8126"
- FCM - FOUND CONCRETE MONUMENT AS NOTED
- I.R.&C. - FOUND IRON ROD & CAP AS NOTED
- I.P. - FOUND IRON PIPE AS NOTED
- RRS - FOUND RAILROAD SPIKE AS NOTED
- C1 - CURVE - SEE CURVE DATA
- L1 - LINE - SEE LINE DATA
- & - AND
- C - CENTERLINE
- (RAD) - RADIAL
- (NR) - NON-RADIAL
- NO./# - NUMBER
- I.D. - IDENTIFICATION
- O.R. - OFFICIAL RECORDS
- PG - PLAT BOOK
- PG - PAGE
- PGS - PAGES
- PK - PARKER KALON NAIL
- FEMA - FEDERAL EMERGENCY MANAGEMENT AGENCY
- (F) - INFORMATION AS MEASURED BETWEEN FIELD MONUMENTATION
- (D) - INFORMATION PER LEGAL DESCRIPTION
- (CALC) - INFORMATION CALCULATED FROM FIELD MEASUREMENTS
- LB - LICENSED BUSINESS
- COA - CERTIFICATE OF AUTHORIZATION
- R/W - RIGHT-OF-WAY
- CONC. - CONCRETE
- D/Δ - CENTRAL ANGLE (DELTA)
- R - RADIUS
- L - ARC LENGTH
- T - TANGENT LENGTH
- CH - CHORD DISTANCE
- CB - CHORD BEARING
- ± - MORE OR LESS / PLUS OR MINUS
- N&D - NAIL AND DISK

EDEN HILLS

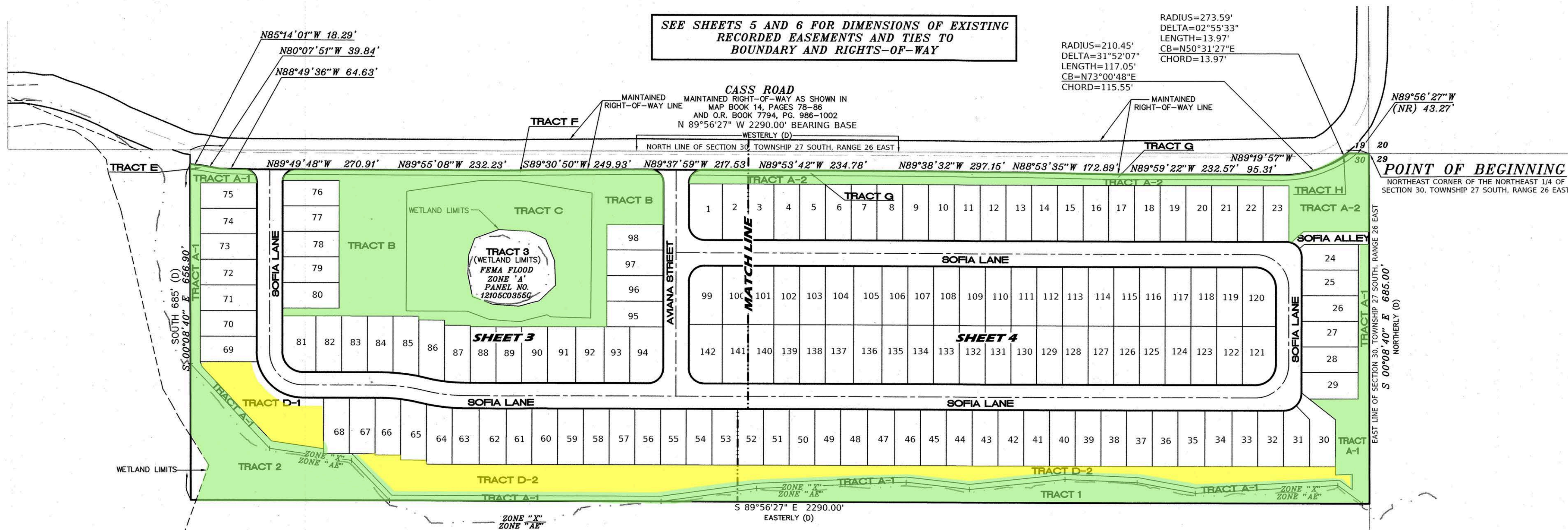
NORTHEAST 1/4 OF SECTION 30, TOWNSHIP 27 SOUTH, RANGE 26 EAST,
CITY OF LAKE ALFRED, POLK COUNTY, FLORIDA

PLAT BOOK 185 PAGE 2
SHEET 2 OF 6

COMMON AREAS
PONDS/DRAINAGE AREAS
WET PONDS



Scale: 1" = 120'



KEY MAP AND EXTERNAL BOUNDARY
(SCALE : 1"=120')

NOTICE:

THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

WETLANDS AREA NOTE

WETLANDS AREA SHALL REMAIN IN ITS NATURAL STATE, BUT WILL RECEIVE DESIGN STORM WATER DRAINAGE. WETLANDS AREA SHALL NOT BE MODIFIED UNLESS PERMITTED BY THE SOUTHWEST FLORIDA WATER MANAGEMENT DISTRICT, OR ITS SUCCESSOR AGENCY.

TRACT USAGE TABLE

TRACTS 1 AND 2 ARE CONSERVATION AND RECREATION AREAS AND WALKING TRAIL EASEMENTS, TO BE OWNED AND MAINTAINED BY THE EDEN HILLS COMMUNITY DEVELOPMENT DISTRICT.

TRACT 3 IS A CONSERVATION AND RECREATION AREA, TO BE OWNED AND MAINTAINED BY THE EDEN HILLS COMMUNITY DEVELOPMENT DISTRICT.

TRACTS A-1, A-2 AND B ARE RECREATION AREAS AND WALKING TRAIL EASEMENTS, TO BE OWNED AND MAINTAINED BY THE EDEN HILLS COMMUNITY DEVELOPMENT DISTRICT.

TRACTS C, D-1 AND D-2 ARE DRAINAGE/RETENTION AREAS, TO BE OWNED AND MAINTAINED BY THE EDEN HILLS COMMUNITY DEVELOPMENT DISTRICT.

TRACTS E, F AND G ARE LANDSCAPE BUFFER AREAS, TO BE OWNED AND MAINTAINED BY THE EDEN HILLS COMMUNITY DEVELOPMENT DISTRICT.

TRACT H IS AN ADDITIONAL RIGHT-OF-WAY AREA, THAT SHALL BE DEDICATED TO POLK COUNTY BY THIS PLAT.

FLOOD HAZARD WARNING:

THIS PROPERTY MAY BE SUBJECT TO FLOODING. YOU SHOULD CONTACT POLK COUNTY AND OBTAIN THE LATEST INFORMATION ON FLOOD ELEVATIONS AND RESTRICTIONS BEFORE MAKING PLANS FOR THE USE OF THIS PROPERTY. EVEN MEETING POLK COUNTY STANDARDS DOES NOT ENSURE THAT ANY IMPROVEMENTS SUCH AS STRUCTURES, DRIVEWAYS, YARDS, SANITARY SEWER SYSTEMS AND WATER WELL SYSTEMS WILL NOT BE FLOODED IN CERTAIN RAIN EVENTS.

TOTAL SITE ACREAGE	- 34.06 ACRES
REQUIRED OPEN SPACE	- 10.22 ACRES (34.06 X 30%)
REQUIRED RECREATION AREA	- 5.11 ACRES (10.22 X 50%)
PROVIDED RECREATION AREA	- 5.69 ACRES
OPEN SPACE (RECREATION AREAS)	- 5.69 ACRES
OPEN SPACE (CONSERVATION, BUFFERS, ETC.)	- 4.36 ACRES
OPEN SPACE (WETLAND)	- 0.55 ACRES
TOTAL OPEN SPACE PROVIDED (5.69 AC + 4.36 AC + (0.55 AC x 50%) =	- 10.33 ACRES
TOTAL LENGTH OF ROADWAYS	- 4,232 LINEAR FEET
TOTAL NUMBER OF LOTS	- 142 LOTS
CURRENT ZONING OF LANDS BEING PLATTED PUD-R AND CN	



PENNONI ASSOCIATES INC.
401 Third Street SW
Winter Haven, FL 33880
T 863.324.1112 F 863.294.6185
LB 8126

- NOTES AND LEGEND**
- FCM - FOUND 4" X 4" CONCRETE MONUMENT AND CAP "PRM LB-8126" - UNLESS OTHERWISE NOTED
 - FIR - FOUND IRON ROD AS NOTED
 - FPKD - FOUND PK NAIL & DISK "PCP LB-8126" - UNLESS OTHERWISE NOTED
 - PCP - PERMANENT CONTROL POINT - SET PK NAIL & DISK "PCP LB-8126" - UNLESS OTHERWISE NOTED
 - PRM - PERMANENT REFERENCE MONUMENT - SET 4" X 4" CONCRETE MONUMENT AND CAP "PRM LB-8126"
 - AND
 - CENTERLINE
 - MORE OR LESS / PLUS OR MINUS
 - NR - NON-RADIAL
 - RAD - RADIAL
 - NT - NON-TANGENT
 - DA - CENTRAL ANGLE (DELTA)
 - No./# - NUMBER
 - C1 - CURVE - SEE CURVE DATA
 - CB - CHORD BEARING
 - C - CHORD DISTANCE
 - FEMA - FEDERAL EMERGENCY MANAGEMENT AGENCY
 - L - ARC LENGTH
 - L1 - LINE - SEE LINE DATA
 - LB - LICENSED BUSINESS
 - LD - IDENTIFICATION
 - MB - MAP BOOK
 - O.R. - OFFICIAL RECORDS
 - P.K. - PARKER KALON NAIL
 - PB - PLAT BOOK
 - PG - PAGE
 - PGS - PAGES
 - R - RADIUS
 - ROW - RIGHT-OF-WAY
 - T - TANGENT LENGTH
 - FND - FOUND
 - IR&C - IRON ROD AND CAP - AS NOTED
 - PLS - PROFESSIONAL LAND SURVEYOR

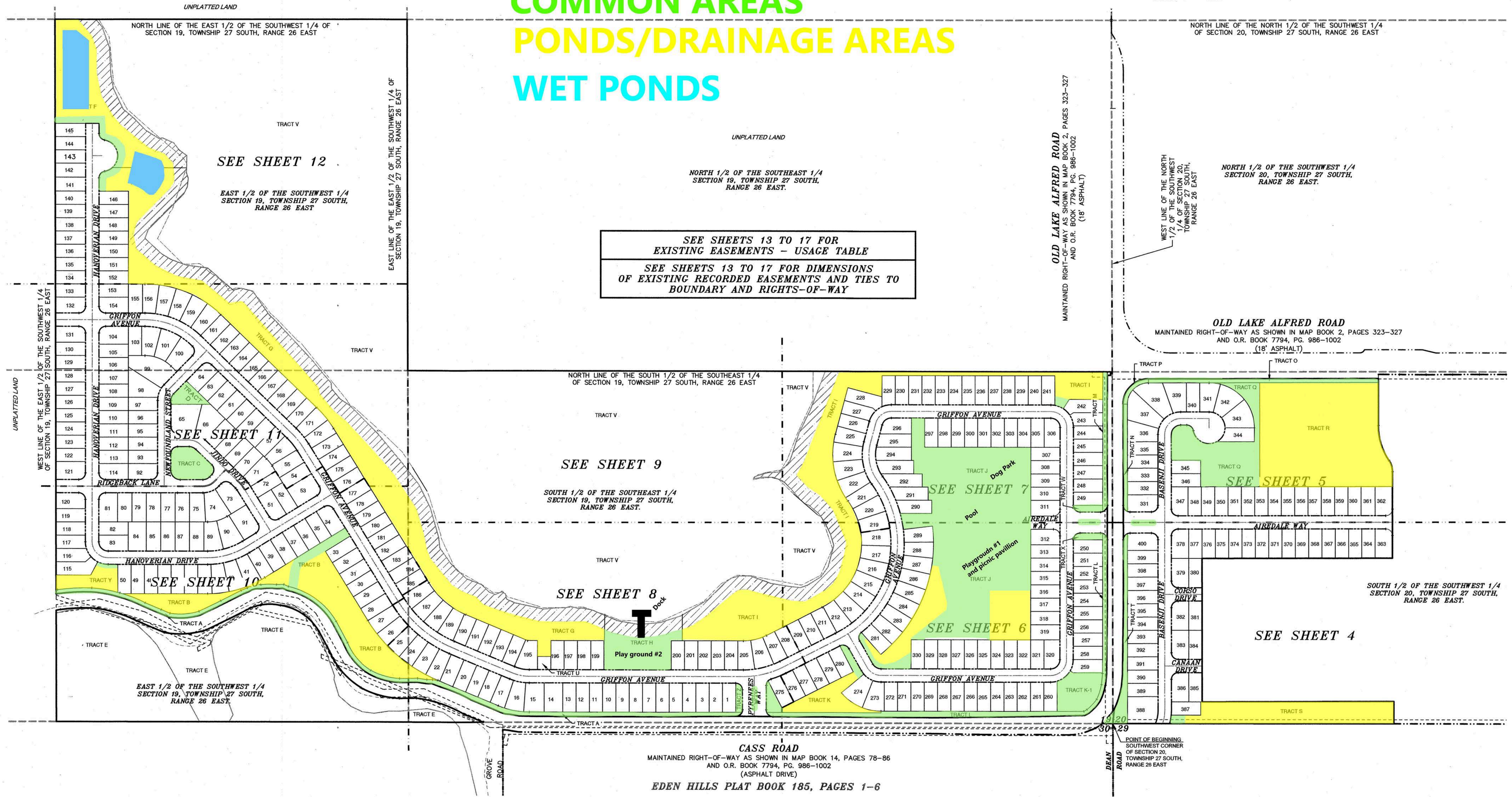
EDEN HILLS PHASE 2

SECTIONS 19 AND 20, TOWNSHIP 27 SOUTH, RANGE 26 EAST,
CITY OF LAKE ALFRED, POLK COUNTY, FLORIDA



200 100 0 200 400
Scale: 1" = 200'

COMMON AREAS
PONDS/DRAINAGE AREAS
WET PONDS



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THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

FLOOD HAZARD WARNING:
THIS PROPERTY MAY BE SUBJECT TO FLOODING. YOU SHOULD CONTACT THE CITY OF LAKE ALFRED AND OBTAIN THE LATEST INFORMATION ON FLOOD ELEVATIONS AND RESTRICTIONS BEFORE MAKING PLANS FOR THE USE OF THIS PROPERTY. EVEN MEETING FEDERAL, STATE OR LOCAL STANDARDS DOES NOT ENSURE THAT ANY IMPROVEMENTS SUCH AS STRUCTURES, DRIVEWAYS, YARDS, SANITARY SEWAGE SYSTEMS, AND WATER WELL SYSTEMS WILL NOT BE FLOODED IN CERTAIN RAIN EVENTS.

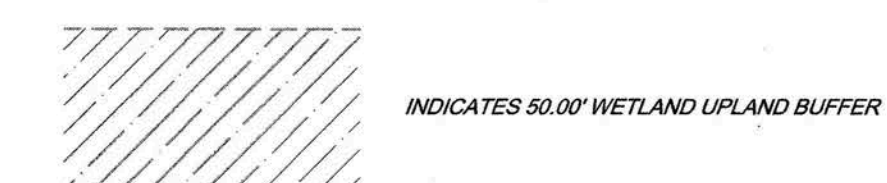
WETLANDS AREA NOTE
WETLANDS AREA SHALL REMAIN IN ITS NATURAL STATE, BUT WILL RECEIVE DESIGN STORM WATER DRAINAGE. WETLANDS AREA SHALL NOT BE MODIFIED UNLESS PERMITTED BY THE SOUTHWEST FLORIDA WATER MANAGEMENT DISTRICT, OR ITS SUCCESSOR AGENCY.

TRACT USAGE TABLE

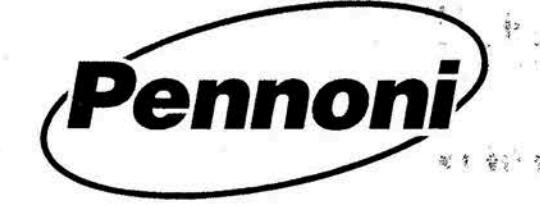
TRACTS A, L, M, N, O, P, Q & T ARE BUFFER AREAS, TO BE OWNED AND MAINTAINED BY THE EDEN HILLS COMMUNITY DEVELOPMENT DISTRICT.	TRACT U IS A LIFT STATION SITE TO BE DEDICATED TO THE CITY OF LAKE ALFRED.
TRACTS B, F, G, I, K, R, S & Y ARE OPEN SPACE, DRAINAGE AND DRAINAGE/RETENTION AREAS TO BE OWNED AND MAINTAINED BY THE EDEN HILLS COMMUNITY DEVELOPMENT DISTRICT.	TRACTS E & V ARE PERPETUAL CONSERVATION EASEMENTS - WHICH PROHIBITS ANY ENCROACHMENT(S), EXCAVATION, CONSTRUCTION AND/OR ANY MATERIAL ALTERATION OR CHANGE IN THE USE AND/OR PHYSICAL APPEARANCE. THE ENTIRE CONSERVATION EASEMENT MUST REMAIN IN ITS NATURAL CONDITION AND PROHIBITS ACTIVITIES THAT WOULD BE DETRIMENTAL TO THE NATIVE VEGETATION, DRAINAGE OR FLOOD CONTROL, WATER QUALITY, EROSION CONTROL, OR SOIL CONSERVATION, AND/OR IMPACT THE FISH AND WILDLIFE HABITAT.
TRACTS C, D, K-1, W, X & Z ARE OPEN SPACE AREAS TO BE OWNED AND MAINTAINED BY THE EDEN HILLS COMMUNITY DEVELOPMENT DISTRICT.	
TRACTS H & J ARE RECREATION/PARK AREAS TO BE OWNED AND MAINTAINED BY THE EDEN HILLS COMMUNITY DEVELOPMENT DISTRICT.	

TOTAL SITE ACREAGE	- 177.49 ACRES ±
RIGHT-OF-WAY DEDICATION	- 0.28 ACRE ±
LAKE AREA	- 65.36 ACRES ±
WETLAND AREA	- 0.55 ACRES ±
NET AREA	- 111.30 ACRES ±
REQUIRED OPEN SPACE (30%)	- 33.39 ACRES ±
REQUIRED RECREATION AREA	- 0.50 ACRE ±
PROVIDED RECREATION AREA	- 7.40 ACRES ±
PROVIDED TOTAL OPEN SPACE	- 38.99 ACRES ±
ROADWAY (RIGHT-OF-WAY) AREA	- 17.19 ACRES ±
LOT AREA (NET MINUS OPEN SPACE, R/W)	- 55.12 ACRES ±
TOTAL LENGTH OF ROADWAYS	- 14,320 LINEAR FEET ±, 2.71 MILES ±
TOTAL NUMBER OF LOTS	- 400 LOTS

CURRENT ZONING OF LANDS BEING PLATTED
VRN AND CN



INDICATES 50.00' WETLAND UPLAND BUFFER



PENNONI ASSOCIATES INC.
401 Third Street SW
Winter Haven, FL 33880
T 863.324.1112 F 863.294.6185
COA #00007819 LB #8126

SECTION (a)

[Eden Hills CDD] Landscape Fee Summary

Contractor: Floralawn

Address: 734 S Combee Rd

Lakeland, FL 33801

Phone: 863-668-0494

Fax: 863-668-0495

Contact: Bryan Boyett

Email: bryan.boyett@floralawn.com

Property: Eden Hills CDD

Address: 219 E. Livingston St.

Orlando,
Florida, 32801

Phone: (407) 346 - 2453

Contact: Marshall Tindall

Email: mtindall@gmscf.com

	JAN	FEB	MAR	APRIL	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	TOTAL
ESSENTIAL SERVICES A-D (Component A) - Mowing/Detailing	7,950	5,300	7,950	10,600	13,250	10,600	10,600	13,250	10,600	10,600	5,300	5,300	\$111,300
TURF CARE (Component B) Bahia			708			708				708			\$2,124
TREE/SHRUB CARE (Component C) Tree/Shrub Fert			678			678			678			678	\$2,712
IRRIGATION MAINT. (Component D)	720	720	720	720	720	720	720	720	720	720	720	720	\$8,640
ANNUAL CHANGES - <i>None at this time</i> (Component E.1) <i>Per Annual Pricing: \$2.50</i>	<i>Count:NA</i>			<i>Count:NA</i>			<i>Count:NA</i>			<i>Count:NA</i>			\$0
BED DRESSING - Estimate mulch yds (Component E.2) <i>Per Yard Pricing:\$60</i>					10,800 <i>Mulch 180Yds</i>						5,400 <i>Mulch 90Yds</i>		\$16,200
PALM TRIMMING (Component E.3) <i>Per Palm Price:</i> INCLUDED <i>Palm counts:</i>	Included	Included	Included	Included	Included	Included	Included	Included	Included	Included	Included	Included	\$0
TOTAL FEE PER MONTH:	\$8,670	\$6,020	\$10,056	\$11,320	\$24,770	\$12,706	\$11,320	\$13,970	\$11,998	\$12,028	\$11,420	\$6,698	\$140,976

Flat Fee Schedule	\$11,748	\$11,748	\$11,748	\$11,748	\$11,748	\$11,748	\$11,748	\$11,748	\$11,748	\$11,748	\$11,748	\$11,748	\$140,976
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Essential Services Mowing/Detailing/Irrigation/Fert and Pest	\$124,776
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Extra Services Annual Changes, Palm Pruning, Mulch	\$16,200
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TOTAL	\$140,976.00
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Initials_____

SECTION (b)

[Eden Hills CDD] Landscape Fee Summary

Contractor: Prince and Sons, Inc

Property:

Address: 200 S. F Street

Address:

Haines City, FL 33844

Phone: (863) 422-5207

Phone:

Fax:

Contact: Lucas Martin

Contact:

Email: Lmartin@princeandsonsinc.com

Email:

	JAN	FEB	MAR	APRIL	MAY	JUN	JUL	AUG	SEP	OCT
ESSENTIAL SERVICES A-D (Compnent A) - Mowing/Detailing	8,900	8,900	8,900	8,900	8,900	8,900	8,900	8,900	8,900	8,900
TURF CARE (Component B) Bahia/St Augustine/Zoysia	80	80	80	80	80	80	80	80	80	80
TREE/SHRUB CARE (Component C) Tree/Shrub Fert	300	300	300	300	300	300	300	300	300	300
IRRIGATION MAINT. (Component D)	450	450	450	450	450	450	450	450	450	450
ANNUAL CHANGES - <i>None at this time</i> (Component E.1) <i>\$2 Per Annual Pricing:</i>	<i>Count:</i>			<i>Count:</i>			<i>Count:</i>			<i>Count:</i>
BED DRESSING - Estimate mulch yds (Component E.2) <i>\$55 Per Yard Pricing:</i>					9,900 <i>Mulch 180 Yds</i>					
PALM TRIMMING (Component E.3) <i>Per Palm Price:</i> <i>\$45 Palm counts:</i>										
TOTAL FEE PER MONTH:	\$9,730	\$9,730	\$9,730	\$9,730	\$19,630	\$9,730	\$9,730	\$9,730	\$9,730	\$9,730

Flat Fee Schedule	\$10,968	\$10,968	\$10,968	\$10,968	\$10,968	\$10,968	\$10,968	\$10,968	\$10,968	\$10,968
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Essential Services Mowing/Detailing/Irrigation/Fert and Pest	\$116,760
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Extra Services Annual Changes, Palm Pruning, Mulch	\$14,850
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TOTAL	\$131,610.00
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Initials_____

Contractor: Eden Hills CDD

Address: 219 E. Livingston St.
Orlando,
Florida,
32801

Phone: (407) 346 - 2453

Fax:

Contact: Marshall Tindall

Email: mtindall@gmscfl.com

	NOV	DEC	TOTAL
ESSENTIAL SERVICES A-D (Component A) - Mowing/Detailing	8,900	8,900	\$106,800
TURF CARE (Component B) Bahia/St Augustine/Zoysia	80	80	\$960
TREE/SHRUB CARE (Component C) Tree/Shrub Fert	300	300	\$3,600
IRRIGATION MAINT. (Component D)	450	450	\$5,400
ANNUAL CHANGES - None at this time (Component E.1) <i>\$2 Per Annual Pricing:</i>			\$0
BED DRESSING - Estimate mulch yds (Component E.2) <i>\$55 Per Yard Pricing: Mulch 90 Yds</i>	4,950		\$14,850
PALM TRIMMING (Component E.3) <i>Per Palm Price:</i> <i>\$45 Palm counts:</i>			\$0
TOTAL FEE PER MONTH:	\$14,680	\$9,730	\$131,610

Flat Fee Schedule	\$10,968	\$10,968	\$131,610
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Essential Services Mowing/Detailing/Irrigation/Fert and Pest

Extra Services Annual Changes, Palm Pruning, Mulch

TOTAL

Initials_____

SECTION 2

ESTIMATE



**Aquatic Weed Management,
Inc.**
PO Box 1259
Haines City, FL 33845

WATERWEED1@AOL.COM
+1 (863) 412-1919

Eden Hills CDD

Bill to

Eden Hills CDD
219 E Livingston St
Orlando, FL 32801

Estimate details

Estimate no.: 1243
Estimate date: 02/07/2023

Product or service		Amount
1.	Scope of Work Monthly pond herbicide maintenance on 3 ponds. Services include treatments for ALL vegetation (emerged, submerged and floating) within the ordinary high water level. Pond 1 is in Phase 1. Ponds 2 and 3 are in Phase 2. Priced as \$/treatment.	\$350.00
2.	Scope of Work Reasonable pond edge trash collection. Does not include construction debris.	1 unit × \$50.00 \$50.00
Total		\$400.00

Note to customer

Thank you for your business!

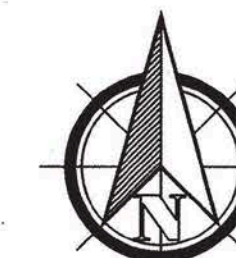
- NOTES AND LEGEND**
- FCM - FOUND 4" X 4" CONCRETE MONUMENT AND CAP
 - FR - FOUND IRON ROD AS NOTED
 - FPD - FOUND PK NAIL & DISK "POP LB-8128" UNLESS OTHERWISE NOTED
 - POP - PERMANENT CONTROL POINT - SET PK NAIL & DISK "POP LB-8128" UNLESS OTHERWISE NOTED
 - PRM - PERMANENT REFERENCE MONUMENT - SET 4" X 4" CONCRETE MONUMENT AND CAP "PRM LB-8128"
 - AND
 - CEN - CENTERLINE
 - MO - MORE OR LESS / PLUS OR MINUS
 - NR - NON-RADIAL
 - NRD - NON-RADIAL
 - NT - NON-TANGENT
 - CA - CENTRAL ANGLE (DELTA)
 - NO - NUMBER
 - C1 - CURVE - SEE CURVE DATA
 - CR - CHORD BEARING
 - CO - CHORD DISTANCE
 - FEMA - FEDERAL EMERGENCY MANAGEMENT AGENCY
 - LI - LINE - SEE LINE DATA
 - LB - LEAST SQUARES
 - ID - IDENTIFICATION
 - MR - MAP BOOK
 - OR - OFFICIAL RECORDS
 - PK - PARKER/ALON NAIL
 - PL - PLAT BOOK
 - PS - PAGES
 - RA - RADIAL
 - RW - RIGHT-OF-WAY
 - TG - TANGENT LENGTH
 - FO - FOUND
 - IRAC - IRON ROD AND CAP - AS NOTED
 - PLS - PROFESSIONAL LAND SURVEYOR

EDEN HILLS PHASE 2

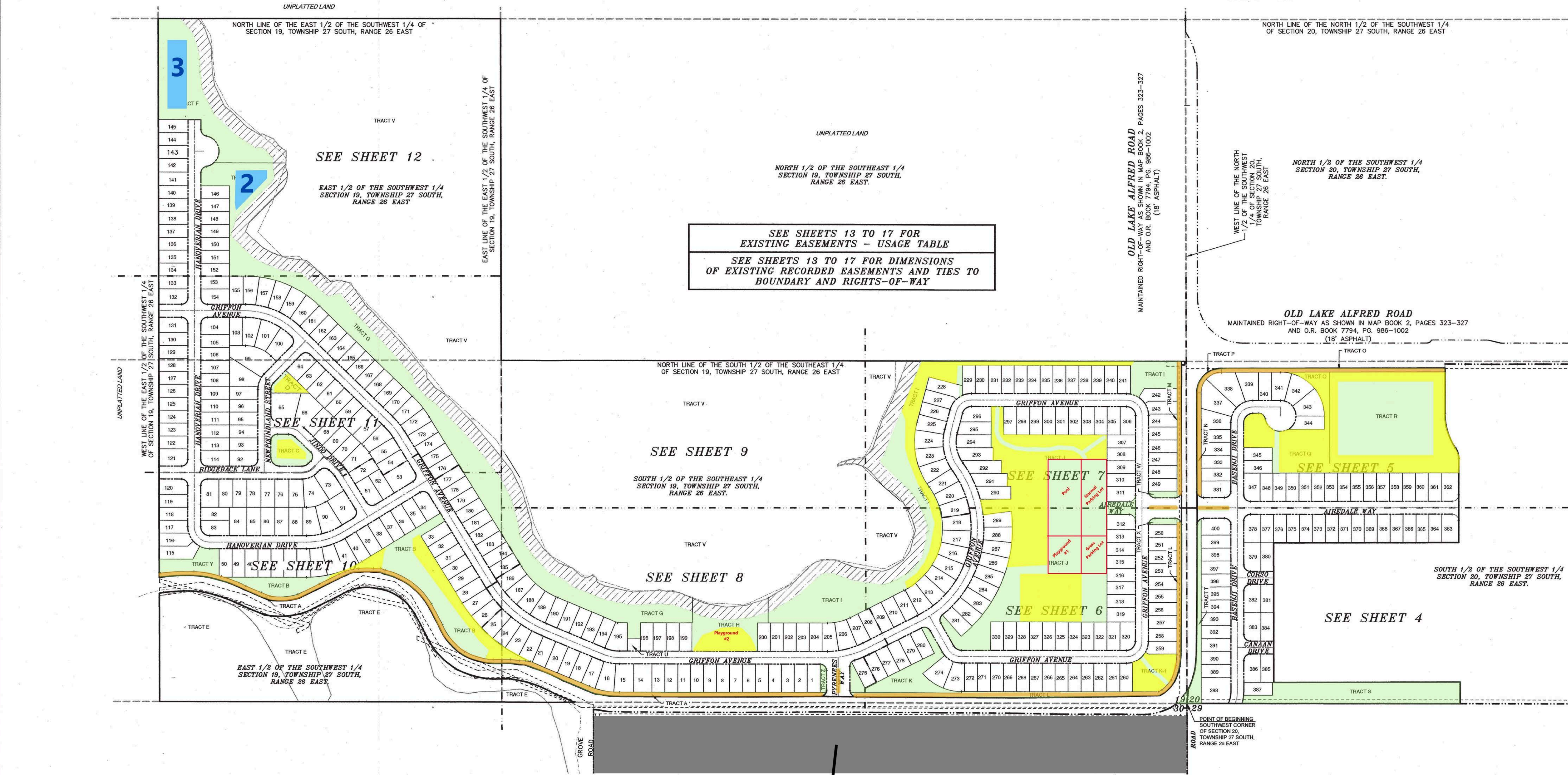
SECTIONS 19 AND 20, TOWNSHIP 27 SOUTH, RANGE 26 EAST,
CITY OF LAKE ALFRED, POLK COUNTY, FLORIDA

PONDS

PLAT BOOK 104 PAGE 26
SHEET 3 OF 18



Scale: 1" = 200'



NOTICE:
THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL, IN NO CIRCUMSTANCES, BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

FLOOD HAZARD WARNING:
THIS PROPERTY MAY BE SUBJECT TO FLOODING. YOU SHOULD CONTACT THE CITY OF LAKE ALFRED AND OBTAIN THE LATEST INFORMATION ON FLOOD ELEVATIONS AND RESTRICTIONS BEFORE MAKING PLANS FOR THE USE OF THIS PROPERTY. EVEN MEETING FEDERAL, STATE OR LOCAL STANDARDS DOES NOT ENSURE THAT ANY IMPROVEMENTS SUCH AS STRUCTURES, DRIVEWAYS, YARDS, SANITARY SEWAGE SYSTEMS AND WATER WELL SYSTEMS WILL NOT BE FLOODED IN CERTAIN RAIN EVENTS.

WETLANDS AREA NOTE
WETLANDS AREA SHALL REMAIN IN ITS NATURAL STATE, BUT WILL RECEIVE DESIGN STORM WATER DRAINAGE. WETLANDS AREA SHALL NOT BE MOVED UNLESS PERMITTED BY THE SOUTHWEST FLORIDA WATER MANAGEMENT DISTRICT, OR ITS SUCCESSOR AGENCY.

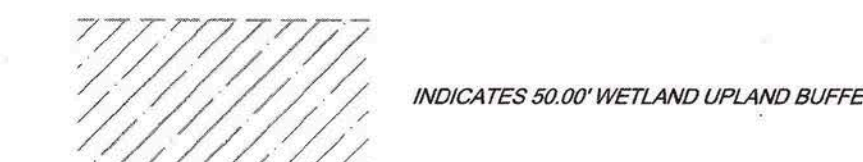
TRACT USAGE TABLE

TRACTS A, L, M, N, O, P, Q, R, S, T, U ARE BUFFER AREAS TO BE OWNED AND MAINTAINED BY THE EDEN HILLS COMMUNITY DEVELOPMENT DISTRICT.	TRACT U IS A LEFT STATION SITE TO BE DEDICATED TO THE CITY OF LAKE ALFRED.
TRACTS B, F, G, I, K, R, S, A, Y ARE OPEN SPACE, DRAINAGE AND DRAINAGE RETENTION AREAS TO BE OWNED AND MAINTAINED BY THE EDEN HILLS COMMUNITY DEVELOPMENT DISTRICT.	TRACTS E, V ARE PERPETUAL CONSERVATION EASEMENTS - WHICH PROHIBITS ANY ENDOCHROMITES EXCAVATION, CONSTRUCTION AND/OR ANY MATERIAL ALTERATION OR CHANGE IN THE USE AND/OR PHYSICAL APPEARANCE. THE ENTIRE CONSERVATION EASEMENT MUST REMAIN IN ITS NATURAL CONDITION AND PROHIBITS ANY ACTS THAT WOULD BE DESTRUCTIVE TO THE NATURAL VEGETATION, DRAINAGE OR FLOOD CONTROL, WATER QUALITY, EROSION CONTROL, OR SOIL CONSERVATION, AND/OR IMPACT THE FISH AND WILDLIFE HABITAT.
TRACTS C, D, K, I, W, X, Z ARE OPEN SPACE AREAS TO BE OWNED AND MAINTAINED BY THE EDEN HILLS COMMUNITY DEVELOPMENT DISTRICT.	
TRACTS H, J, I ARE RECREATION PARK AREAS TO BE OWNED AND MAINTAINED BY THE EDEN HILLS COMMUNITY DEVELOPMENT DISTRICT.	

TOTAL SITE ACREAGE

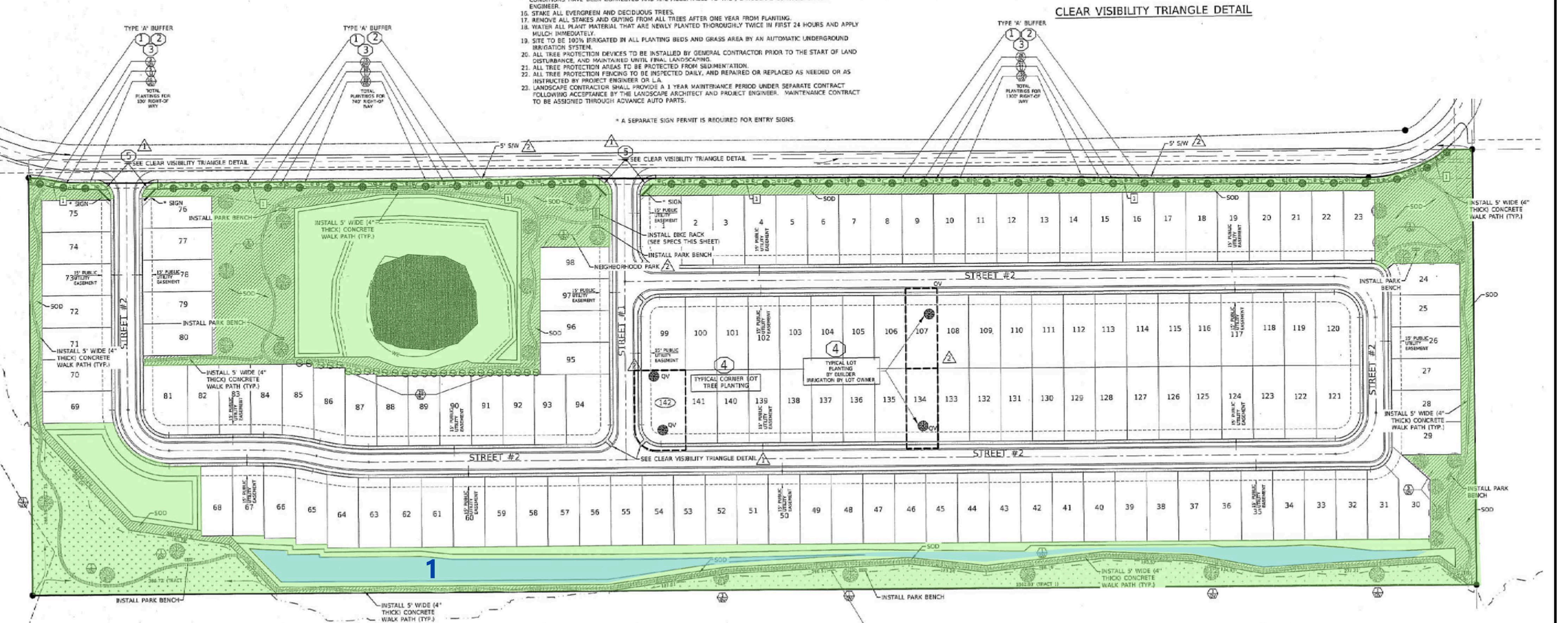
RIGHT-OF-WAY DEDICATION	177.49 ACRES ±
LAKE AREA	0.28 ACRE ±
WETLAND AREA	65.36 ACRES ±
NET AREA	0.55 ACRES ±
REQUIRED OPEN SPACE (30%)	111.30 ACRES ±
REQUIRED RECREATION AREA	33.39 ACRES ±
PROVIDED RECREATION AREA	0.50 ACRE ±
PROVIDED OPEN SPACE	7.40 ACRES ±
ROADWAY (RIGHT-OF-WAY) AREA	38.99 ACRES ±
LOT AREA (NET MINUS OPEN SPACE, R/W)	17.19 ACRES ±
TOTAL LENGTH OF ROADWAYS	50.12 ACRES ±
TOTAL NUMBER OF LOTS	14,320 LINEAR FEET ±, 2.71 MILES ±
	400 LOTS

CURRENT ZONING OF LANDS BEING PLATTED
VRN AND CN



Pennoni
PENNONI ASSOCIATES INC.
401 Third Street SW
Winter Haven, FL 33880
T 863.324.1112 F 863.294.6185
COA #00007819 LB #8126

EDEN HILLS PHASE 1



SECTION 3



Conveyance Report

18316900247

Reference Number:

20230627-18316900247

Submitter Name:

Marshall Tindall (mtindall@gmscfl.com) |
mtindall@gmscfl.com

Location:

3640 Posner Blvd, Davenport, FL 33837, USA
Jun 27, 2023 2:29:48 PM EDT [[View Map](#)]

Form Name:

Conveyance Report

Submission Date:

Jun 27, 2023 2:30:18 PM EDT

NEW PAGE

Conveyance Review

District

Eden Hills - PH2 - ROW Tracts Only

Site Inspected By

Marshall Tindal - Assistant Field Manager

Issue Details

ISSUE DETAILS

1 OF 10

Issue Details

Date / Time

Jun 27, 2023 8:59:00 AM EDT

Action Item Picture**Action Item Description**

general note:

- most of the county road adjacent tracts have a silt fence along the back side. mulched bed is the end of CDD tract.
- area between silt fence and mulch is part of the lots.
- eventual maintenance access to hedges on back side may be an issue especially when private fences go in.

ISSUE DETAILS

2 OF 10

Issue Details**Date / Time**

Jun 27, 2023 8:59:00 AM EDT

GeoLocation

468X+38 Lake Alfred, FL, USA
latitude: 28.1151573 altitude: 14.372577
longitude: -81.7516549 [[viewMap](#)]

Action Item Picture**Action Item Description**

Tract A
- tract overgrown

- recommend mow and detailing

other notes:

- county row unsodded.

- final irrigation check will need to be performed by contacted landscaper.

ISSUE DETAILS

3 OF 10

Issue Details

Date / Time

Jun 27, 2023 8:59:00 AM EDT

GeoLocation

193 Sofia Ln, Lake Alfred, FL 33850, USA

latitude: 28.11475134341888 altitude: 0.0

longitude: -81.7394644394517 [[viewMap](#)]

Action Item Picture



**Action Item Description**

Tract L

- tract overgrown
- recommend mow and detailing

other notes:

- county row unsodded.
- final irrigation check will need to be performed by contracted landscaper.

ISSUE DETAILS

4 OF 10

Issue Details**Date / Time**

Jun 27, 2023 8:59:00 AM EDT

GeoLocation

1004 Old Lake Alfred Rd, Lake Alfred, FL 33850, USA

latitude: 28.1167456 altitude: 28.420073

longitude: -81.7393753 [[viewMap](#)]**Action Item Picture****Action Item Description**

Tract M

- tract overgrown

- recommend mow and detailing

other notes:

- county row unsodded.
- final irrigation check will need to be preformed by contracted landscaper.

ISSUE DETAILS

5 OF 10

Issue Details

Date / Time

Jun 27, 2023 8:59:00 AM EDT

GeoLocation

1004 Old Lake Alfred Rd, Lake Alfred, FL 33850, USA
latitude: 28.1169729 altitude: 26.967972
longitude: -81.7394829 [[viewMap](#)]

Action Item Picture



Action Item Description

Tract N

- tract overgrown
- recommend mow and detailing
- dead sod by lot 331 is not irrigated. On site discussion said that will be part of entrance sign work.

other notes:

- county row unsodded.
- final irrigation check will need to be performed by contacted landscaper.

ISSUE DETAILS

6 OF 10

Issue Details

Date / Time

Jun 27, 2023 8:59:00 AM EDT

GeoLocation894-862 Old Lake Alfred Rd, Lake Alfred, FL
33850, USA

latitude: 28.11739145811264 altitude: 0.0

longitude: -81.73687007278204 [[viewMap](#)]**Action Item Picture****Action Item Description**

Tract O

- tract overgrown
- approximately 280 feet missing sod (middle of tract R to east end)
- recommend mow and detailing.
- recommend adding sod to fill gap. Per discussion this is forecast for Friday 6/30.

other notes:

- county row unsodded.
- final irrigation check will need to be performed by contacted landscaper.

Issue Details

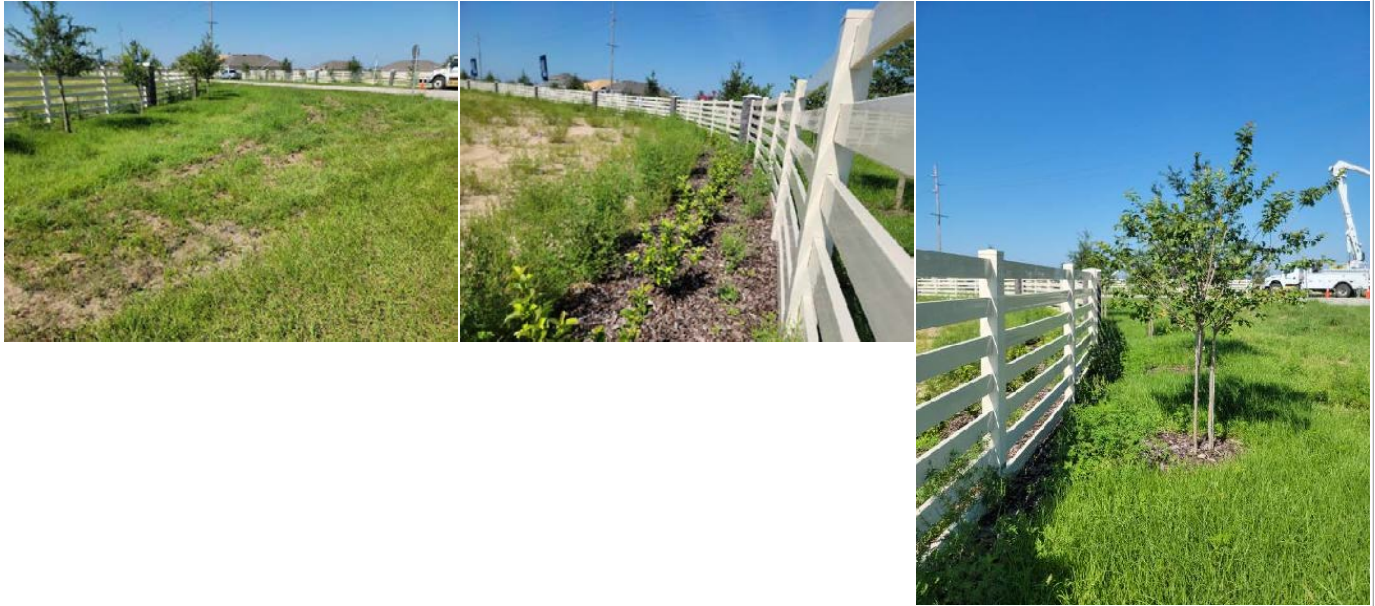
Date / Time

Jun 27, 2023 8:59:00 AM EDT

GeoLocation

1004 Old Lake Alfred Rd, Lake Alfred, FL 33850, USA

latitude: 28.11732817655394 altitude: 0.0

longitude: -81.7391673848033 [[viewMap](#)]**Action Item Picture****Action Item Description**

Tract P

- tract overgrown
- recommend mow and detailing

other notes:

- county row unsodded.
- final irrigation check will need to be performed by contacted landscaper.

ISSUE DETAILS

8 OF 10

Issue Details

Date / Time

Jun 27, 2023 8:59:00 AM EDT

GeoLocation

4786+86 Lake Alfred, FL, USA

latitude: 28.115751743989627 altitude: 0.0

longitude: -81.73954289406538 [[viewMap](#)]**Action Item Picture**

**Action Item Description**

Tracts W & X

- not finished
- tract overgrown
- eventual entry sign will go in here
- tract W sidewalk terminated in a drop off at steet and no truncated dome matt.
- recommend mow and detail.
- recommend correcting sidewalk or closing it for liability.

ISSUE DETAILS

9 OF 10

Issue Details**Date / Time**

Jun 27, 2023 8:59:00 AM EDT

GeoLocation

4786+7C Lake Alfred, FL, USA
latitude: 28.115720398443838 altitude: 0.0
longitude: -81.73904065042734 [[viewMap](#)]

Action Item Picture

**Action Item Description**

Tract T

- tract overgrown
- recommend mow and detailing
- dead sod on corner by lot 400. this is unirrigated. On site discussion said that will be part of entrance sign work.
- eventual entrance sign in may be attached to this tract

- recommend mow and detailing.

other notes:

- county row unsodded.
- final irrigation check will need to be performed by contacted landscaper.

ISSUE DETAILS

10 OF 10

Issue Details

Date / Time

Jun 27, 2023 8:59:00 AM EDT

GeoLocation

105 Sofia Ln, Polk City, FL 33868, USA
latitude: 28.1139324 altitude: 19.4
longitude: -81.7435439 [[viewMap](#)]

Action Item Picture



Action Item Description

Tract Z
not finished

- part of sign tract
- dead sod where no irrigation
- recommend mow and detailing

SECTION D

SECTION 1

Eden Hills Community Development District

Summary of Check Register

March 1, 2023 through May 31, 2023

Fund	Date	Check No.'s		Amount
General Fund	3/16/23	233-244	\$	98,062.31
	3/23/23	245	\$	2,470.70
	4/6/23	246-249	\$	16,640.30
	4/26/23	250-259	\$	35,616.35
	5/4/23	260-261	\$	8,570.39
	5/12/23	262-263	\$	8,627.15
	5/17/23	264-266	\$	2,896.67
	5/25/23	267-268	\$	8,861.25
Total Amount			\$	181,745.12

*** CHECK DATES 03/01/2023 - 05/31/2023 ***
 EDEN HILLS - GENERAL FUND
 BANK A EDEN HILL-GENERAL

CHECK DATE	VEND#	.....INVOICE..... DATE INVOICE	...EXPENSED TO... YRMO DPT ACCT# SUB SUBCLASS	VENDOR NAME	STATUS	AMOUNT	.....CHECK..... AMOUNT #
3/16/23	00041	2/15/23	BH021520 202302 310-51300-11000 SUPERVISOR FEES 02/15/23	BOBBIE HENLEY	*	200.00	200.00 000233
3/16/23	00022	2/28/23	00053579 202302 310-51300-48000 NOT OF BOS MTG - 02/15/23	CA FLORIDA HOLDINGS, LLC	*	316.14	316.14 000234
3/16/23	00033	2/15/23	EL021520 202302 310-51300-11000 SUPERVISOR FEES 02/15/23	ERIC LAVOIE	*	200.00	200.00 000235
3/16/23	00042	2/15/23	EC021520 202302 310-51300-11000 SUPERVISOR FEES 02/15/23	EMILY J CASSIDY	*	200.00	200.00 000236
3/16/23	00031	2/02/23	17050 202301 320-53800-47300 IRRIGATION REPAIRS-JAN 23		*	107.86	
		2/08/23	17154 202301 320-53800-47300 IRRIGATION REPAIRS-JAN 23		*	189.95	
		3/01/23	17340 202303 320-53800-46200 LANDSCAPE MAINT - MAR 23		*	1,912.00	
				FLORALAWN			2,209.81 000237
3/16/23	00008	1/30/23	61 202301 320-53800-49000 FENCE REPAIR - IAN STORM		*	1,419.75	
		1/30/23	62 202301 320-53800-49000 FENCE REPAIR - MATERIALS		*	3,946.70	
		3/01/23	59 202303 310-51300-34000 MANAGEMENT FEES - MAR 23		*	3,154.42	
		3/01/23	59 202303 310-51300-35200 WEBSITE MANAGEMENT-MAR 23		*	100.00	
		3/01/23	59 202303 310-51300-35100 INFORMATION TECH - MAR23		*	150.00	
		3/01/23	59 202303 310-51300-31300 DISSEMINATION SVCS-MAR 23		*	500.00	
		3/01/23	59 202303 310-51300-51000 OFFICE SUPPLIES		*	2.89	
		3/01/23	59 202303 310-51300-42000 POSTAGE		*	63.31	
		3/01/23	59 202303 310-51300-42500 COPIES		*	8.55	
		3/01/23	60 202303 320-53800-12000 FIELD MANAGEMENT - MAR 23		*	625.00	
				GOVERNMENTAL MANAGEMENT SERVICES			9,970.62 000238
				EDEN EDEN HILLS ZYAN			

AP300R		YEAR-TO-DATE ACCOUNTS PAYABLE PREPAID/COMPUTER CHECK REGISTER					RUN 7/06/23		PAGE 2		
*** CHECK DATES 03/01/2023 - 05/31/2023 ***		EDEN HILLS - GENERAL FUND									
		BANK A EDEN HILL-GENERAL									
CHECK DATE	VEND#	.....INVOICE..... DATE INVOICE	...EXPENSED TO... YRMO DPT ACCT# SUB	SUBCLASS	VENDOR NAME	STATUS	AMOUNT	....CHECK.... AMOUNT#		
3/16/23	00028	2/15/23 JK021520	202302 310-51300-11000		SUPERVISOR FEES 02/15/23	*	200.00				
					JESSICA KOWALSKI			200.00	000239		
3/16/23	00040	2/15/23 JP021520	202302 310-51300-11000		SUPERVISOR FEES 02/15/23	*	200.00				
					JESSICA PETRUCCI			200.00	000240		
3/16/23	00039	2/21/23 5774	202301 310-51300-31500		GEN.COUNSEL/MTHLY MEETING	*	111.84				
					KILINSKI / VAN WYK, PLLC			111.84	000241		
3/16/23	00036	3/16/23 03162023	202303 300-15500-10000		PLAYGRND/FUR LEASE-APR 23	*	4,254.40				
					PARK LAKE PROPERTY MANAGEMENT, INC			4,254.40	000242		
3/16/23	00034	2/14/23 3364	202302 300-20700-10200		AMENITY AREA PROJCT-FINAL	*	79,999.50				
					PRO PLAYGROUNDS			79,999.50	000243		
3/16/23	00001	2/15/23 RH021520	202302 310-51300-11000		SUPERVISOR FEES 02/15/23	*	200.00				
					RENNIE HEATH			200.00	000244		
3/23/23	00039	3/16/23 6252	202302 310-51300-31500		ATTORNEY FEES-FEB23	*	2,470.70				
					KILINSKI / VAN WYK, PLLC			2,470.70	000245		
4/06/23	00029	3/20/23 2254321	202303 310-51300-31100		GENERAL ENGINEERING SVC	*	217.50				
					DEWBERRY ENGINEERS INC.			217.50	000246		
4/06/23	00022	3/31/23 00054330	202303 310-51300-48000		RULEMAKING AMENTITY/RATES	*	747.24				
					CA FLORIDA HOLDINGS, LLC			747.24	000247		
4/06/23	00036	4/05/23 04052023	202304 300-15500-10000		PLAYGRND/FUR LEASE-MAY-23	*	4,254.40				
					PARK LAKE PROPERTY MANAGEMENT, INC			4,254.40	000248		
4/06/23	00035	12/04/21 41187/B	202303 300-20700-10200		EQUIP & MATERIAL-50%FINAL	*	11,421.16				
					PATIO 2000, INC.			11,421.16	000249		
4/26/23	00041	4/12/23 04122023	202304 310-51300-11000		SUPERVISOR FEE APR23	*	200.00				
					BOBBIE HENLEY			200.00	000250		
					EDEN EDEN HILLS	ZYAN					

AP300R	YEAR-TO-DATE ACCOUNTS PAYABLE PREPAID/COMPUTER CHECK REGISTER										RUN	7/06/23	PAGE	3
*** CHECK DATES 03/01/2023 - 05/31/2023 ***														
EDEN HILLS - GENERAL FUND														
BANK A EDEN HILL-GENERAL														

CHECK DATE	VEND#	.....INVOICE..... DATE INVOICE	...EXPENSED TO... YRMO DPT ACCT# SUB SUBCLASS	VENDOR NAME	STATUS	AMOUNT	.....CHECK..... AMOUNT #
4/26/23	00033	4/12/23 04122023	202304 310-51300-11000	SUPERVISOR FEE APR23	*	200.00	
				ERIC LAVOIE			200.00 000251
4/26/23	00030	4/26/23 04262023	202304 300-20700-10000	FY23 ASSESSMENT TRF SER20	*	24,748.76	
				EDEN HILLS CDD C/O USBANK			24,748.76 000252
4/26/23	00042	4/12/23 04122023	202304 310-51300-11000	SUPERVISOR FEE APR23	*	200.00	
				EMILY J CASSIDY			200.00 000253
4/26/23	00031	4/01/23 18024	202304 320-53800-46200	LANDSCAPE MAINT-APR23	*	1,912.00	
				FLORALAWN			1,912.00 000254
4/26/23	00008	4/01/23 64	202304 310-51300-34000	MANAGEMENT FEES -APR23	*	3,154.42	
				WEBSITE MANAGEMENT-APR23	*	100.00	
				INFORMATION TECH -APR23	*	150.00	
				DISSEMINATION SVCS-APR23	*	500.00	
				OFFICE SUPPLIES	*	.69	
				POSTAGE	*	22.98	
				FIELD MANAGEMENT-APR23	*	625.00	
				GOVERNMENTAL MANAGEMENT SERVICES			4,553.09 000255
4/26/23	00028	4/12/23 04122023	202304 310-51300-11000	SUPERVISOR FEE APR23	*	200.00	
				JESSICA KOWALSKI			200.00 000256
4/26/23	00040	4/12/23 04122023	202304 310-51300-11000	SUPERVISOR FEE APR23	*	200.00	
				JESSICA PETRUCCI			200.00 000257
4/26/23	00039	4/11/23 6392	202303 310-51300-31500	ATTORNEY SVCS-MAR23	*	1,387.50	
				KILINSKI / VAN WYK, PLLC			1,387.50 000258
4/26/23	00043	4/11/23 409	202304 320-53800-49000	MNTHLY TRAPPING FEE	*	2,015.00	
				SWINE SOLUTIONS			2,015.00 000259
				EDEN EDEN HILLS			ZYAN

AP300R		YEAR-TO-DATE ACCOUNTS PAYABLE PREPAID/COMPUTER CHECK REGISTER										RUN 7/06/23		PAGE 4	
*** CHECK DATES 03/01/2023 - 05/31/2023 ***		EDEN HILLS - GENERAL FUND													
		BANK A EDEN HILL-GENERAL													
CHECK DATE	VEND#INVOICE.....		...EXPENSED TO...			VENDOR NAME			STATUS	AMOUNTCHECK.....			
		DATE	INVOICE	YRMO	DPT	ACCT#	SUB	SUBCLASS				AMOUNT	#		
5/04/23	00031	4/24/23	18234	202304	320-53800-49000	LANDSCAPE MAINT-MULCH			*		2,403.99				
		5/01/23	18371	202305	320-53800-46200	LANDSCAPE MAINT-MAY23			*		1,912.00				
FLORALAWN												4,315.99	000260		

5/04/23	00036	5/01/23	05012023	202305	300-15500-10000	PLAYGRND/FUR LEASE-JUN-23			*		4,254.40				
PARK LAKE PROPERTY MANAGEMENT, INC												4,254.40	000261		

5/12/23	00008	5/01/23	67	202305	310-51300-34000	MANAGEMENT FEES-MAY23			*		3,154.42				
		5/01/23	67	202305	310-51300-35200	WEBSITE MANAGEMENT-MAY23			*		100.00				
		5/01/23	67	202305	310-51300-35100	INFORMATION TECH-MAY23			*		150.00				
		5/01/23	67	202305	310-51300-31300	DISSEMINATION SVCS-MAY23			*		500.00				
		5/01/23	67	202305	310-51300-51000	OFFICE SUPPLIES			*		3.01				
		5/01/23	67	202305	310-51300-42000	POSTAGE			*		54.09				
		5/01/23	68	202305	320-53800-12000	FIELD MANAGEMENT-MAY23			*		625.00				
GOVERNMENTAL MANAGEMENT SERVICES												4,586.52	000262		

5/12/23	00027	4/25/23	6905475	202304	310-51300-32300	TRUSTEE FEES FY23 SER20			*		2,020.31				
		4/25/23	6905475	202304	300-15500-10000	TRUSTEE FEES FY24 SER20			*		2,020.32				
US BANK												4,040.63	000263		

5/17/23	00045	5/11/23	53-BID-6	202305	330-57200-54000	PERMIT # 53-60-2563214			*		280.00				
FLORIDA DEPARTMENT OF HEALTH												280.00	000264		

5/17/23	00008	5/01/23	69	202305	320-53800-12000	AMENITY ACCESS-MAY23			*		416.67				
GOVERNMENTAL MANAGEMENT SERVICES												416.67	000265		

5/17/23	00044	5/01/23	19195	202305	320-53800-49000	POOL MAINTENANCE-MAY23			*		2,200.00				
RESORT POOL SERVICES DBA												2,200.00	000266		

5/25/23	00006	5/22/23	18280	202304	310-51300-45000	FY23 INSURANCE POLICY			*		6,258.00				
EGIS INSURANCE ADVISORS, LLC												6,258.00	000267		

EDEN EDEN HILLS ZYAN															

CHECK DATE	VEND#	.....INVOICE..... DATE INVOICE	...EXPENSED TO... YRMO DPT ACCT# SUB SUBCLASS	VENDOR NAME	STATUS	AMOUNT	....CHECK..... AMOUNT #
5/25/23	00039	5/15/23 6613	202304 310-51300-31500		*	2,603.25	
		ATTORNEY SVCS-APR23		KILINSKI / VAN WYK, PLLC			2,603.25 000268

						TOTAL FOR BANK A	181,745.12
						TOTAL FOR REGISTER	181,745.12

SECTION 2

Eden Hills
Community Development District

Unaudited Financial Reporting
May 31, 2023



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Eden Hills
Community Development District
Combined Balance Sheet
May 31, 2023

	<i>General Fund</i>	<i>Debt Service Fund</i>	<i>Capital Projects Fund</i>	<i>Totals Governmental Funds</i>
Assets:				
<u>Cash:</u>				
Operating Account	\$ 245,183	\$ -	\$ -	\$ 245,183
Capital Projects Account	\$ -	\$ -	\$ 861	\$ 861
<u>Investments:</u>				
<u>Series 2020</u>				
Reserve	\$ -	\$ 86,038	\$ -	\$ 86,038
Revenue	\$ -	\$ 72,283	\$ -	\$ 72,283
<u>Series 2022</u>				
Reserve	\$ -	\$ 604,294	\$ -	\$ 604,294
Revenue	\$ -	\$ 72,794	\$ -	\$ 72,794
Construction	\$ -	\$ -	\$ 71	\$ 71
Due from Developer	\$ -	\$ -	\$ 45,500	\$ 45,500
Due from General Fund	\$ -	\$ 299	\$ -	\$ 299
Prepaid Expenses	\$ 6,565	\$ -	\$ -	\$ 6,565
Total Assets	\$ 251,748	\$ 835,708	\$ 46,432	\$ 1,133,889
Liabilities:				
Accounts Payable	\$ 22,716	\$ -	\$ -	\$ 22,716
Contracts Payable	\$ -	\$ -	\$ 45,500	\$ 45,500
Due to Debt Service	\$ 299	\$ -	\$ -	\$ 299
Retainage Payable	\$ -	\$ -	\$ 143,134	\$ 143,134
Total Liabilities	\$ 23,015	\$ -	\$ 188,634	\$ 211,648
Fund Balance:				
Nonspendable:				
Prepaid Items	\$ 6,565	\$ -	\$ -	\$ 6,565
Restricted for:				
Debt Service - Series 2020	\$ -	\$ 158,620	\$ -	\$ 158,620
Debt Service - Series 2022	\$ -	\$ 677,088	\$ -	\$ 677,088
Capital Projects - Series 2020	\$ -	\$ -	\$ (9,891)	\$ (9,891)
Capital Projects - Series 2022	\$ -	\$ -	\$ (132,310)	\$ (132,310)
Unassigned	\$ 222,168	\$ -	\$ -	\$ 222,168
Total Fund Balances	\$ 228,734	\$ 835,708	\$ (142,201)	\$ 922,240
Total Liabilities & Fund Balance	\$ 251,748	\$ 835,708	\$ 46,432	\$ 1,133,889

Eden Hills
Community Development District
General Fund
Statement of Revenues, Expenditures, and Changes in Fund Balance
For The Period Ending May 31, 2023

	Adopted	Prorated Budget	Actual	
	Budget	Thru 05/31/23	Thru 05/31/23	Variance

Revenues:

Assessments - Tax Roll	\$ 159,000	\$ 159,000	\$ 106,160	\$ (52,840)
Assessments - Direct Bill	\$ 300,000	\$ 300,000	\$ 52,500	\$ (247,500)
Assessments - Lot Closings	\$ -	\$ -	\$ 227,250	\$ 227,250
Developer Contributions	\$ 101,192	\$ 20,000	\$ 20,000	\$ -
Total Revenues	\$ 560,193	\$ 479,000	\$ 405,910	\$ (73,091)

Expenditures:

General & Administrative:

Supervisor Fees	\$ 12,000	\$ 8,000	\$ 2,200	\$ 5,800
Engineering	\$ 20,000	\$ 13,333	\$ 1,333	\$ 12,001
Attorney	\$ 30,000	\$ 20,000	\$ 9,197	\$ 10,803
Annual Audit	\$ 7,250	\$ -	\$ -	\$ -
Assessment Administration	\$ 5,000	\$ 5,000	\$ 5,000	\$ -
Arbitrage	\$ 1,350	\$ -	\$ -	\$ -
Dissemination	\$ 7,000	\$ 4,667	\$ 4,000	\$ 667
Trustee Fees	\$ 10,650	\$ 6,444	\$ 6,444	\$ -
Management Fees	\$ 37,853	\$ 25,235	\$ 25,235	\$ (0)
Information Technology	\$ 1,800	\$ 1,200	\$ 1,200	\$ -
Website Technology	\$ 1,200	\$ 800	\$ 800	\$ -
Postage & Delivery	\$ 850	\$ 567	\$ 248	\$ 319
Insurance	\$ 6,250	\$ 6,250	\$ 5,563	\$ 687
Copies	\$ 1,000	\$ 667	\$ 9	\$ 658
Legal Advertising	\$ 10,000	\$ 6,667	\$ 1,063	\$ 5,603
Other Current Charges	\$ 2,800	\$ 1,867	\$ 262	\$ 1,604
Office Supplies	\$ 500	\$ 333	\$ 8	\$ 326
Dues, Licenses & Subscriptions	\$ 175	\$ 175	\$ 175	\$ -
Total General & Administrative	\$ 155,678	\$ 101,204	\$ 62,736	\$ 38,468

Eden Hills
Community Development District
General Fund

Statement of Revenues, Expenditures, and Changes in Fund Balance
For The Period Ending May 31, 2023

	Adopted	Prorated Budget	Actual	
	Budget	Thru 05/31/23	Thru 05/31/23	Variance
<u>Operations & Maintenance</u>				
Field Expenditures				
Property Insurance	\$ 14,400	\$ 14,400	\$ 7,153	\$ 7,247
Field Management	\$ 15,000	\$ 10,000	\$ 5,000	\$ 5,000
Landscape Maintenance	\$ 70,000	\$ 46,667	\$ 20,139	\$ 26,528
Landscape Replacement	\$ 7,500	\$ 5,000	\$ -	\$ 5,000
Streetlights	\$ 84,000	\$ 56,000	\$ 13,060	\$ 42,940
Electric	\$ 6,000	\$ 4,000	\$ 2,614	\$ 1,386
Sidewalk & Asphalt Maintenance	\$ 2,000	\$ 1,333	\$ -	\$ 1,333
Irrigation Repairs	\$ 5,000	\$ 3,333	\$ 2,190	\$ 1,144
General Repairs & Maintenance	\$ 7,500	\$ 5,000	\$ 10,314	\$ (5,314)
Contingency	\$ 7,500	\$ 5,000	\$ 9,785	\$ (4,785)
Subtotal Field Expenditures	\$ 218,900	\$ 150,733	\$ 70,255	\$ 80,479
Amenity Expenditures				
Amenity - Electric	\$ 9,600	\$ -	\$ 3,023	\$ (3,023)
Amenity - Water	\$ 2,333	\$ -	\$ 110	\$ (110)
Playground Lease	\$ 31,400	\$ 20,933	\$ 34,035	\$ (13,101)
Internet	\$ 2,000	\$ -	\$ 261	\$ (261)
Pest Control	\$ 480	\$ -	\$ -	\$ -
Janitorial Service	\$ 4,333	\$ -	\$ -	\$ -
Security Services	\$ 25,000	\$ -	\$ 13,200	\$ (13,200)
Amenity Access Management	\$ 3,333	\$ -	\$ 417	\$ (417)
Pool Maintenance	\$ 12,000	\$ -	\$ 2,480	\$ (2,480)
Amenity Repairs & Maintenance	\$ 5,000	\$ -	\$ -	\$ -
Contingency	\$ 10,000	\$ -	\$ -	\$ -
Subtotal Amenity Expenditures	\$ 105,480	\$ 20,933	\$ 53,526	\$ (32,593)
Total Operations & Maintenance	\$ 324,380	\$ 171,667	\$ 123,780	\$ 47,886
Total Expenditures	\$ 480,058	\$ 272,870	\$ 186,517	\$ 86,354
Excess (Deficiency) of Revenues over Expenditures	\$ 80,135		\$ 219,393	
<u>Other Financing Sources/(Uses):</u>				
Transfer In/(Out)	\$ (80,135)	\$ -	\$ -	\$ -
Total Other Financing Sources/(Uses)	\$ (80,135)	\$ -	\$ -	\$ -
Net Change in Fund Balance	\$ -		\$ 219,393	
Fund Balance - Beginning	\$ -		\$ 9,341	
Fund Balance - Ending	\$ -		\$ 228,734	

Eden Hills
Community Development District
Debt Service Fund Series 2020
Statement of Revenues, Expenditures, and Changes in Fund Balance
For The Period Ending May 31, 2023

	Adopted	Prorated Budget	Actual	
	Budget	Thru 05/31/23	Thru 05/31/23	Variance
Revenues:				
Assessments - Tax Roll	\$ 172,075	\$ 172,075	\$ 171,625	\$ (450)
Interest	\$ -	\$ -	\$ 4,035	\$ 4,035
Total Revenues	\$ 172,075	\$ 172,075	\$ 175,660	\$ 3,585
Expenditures:				
Interest - 11/1	\$ 56,506	\$ 56,506	\$ 56,506	\$ -
Principal - 5/1	\$ 55,000	\$ 55,000	\$ 55,000	\$ -
Interest - 5/1	\$ 56,506	\$ 56,506	\$ 56,506	\$ -
Total Expenditures	\$ 168,013	\$ 168,013	\$ 168,013	\$ -
Excess (Deficiency) of Revenues over Expenditures	\$ 4,063		\$ 7,647	
Fund Balance - Beginning	\$ 60,727		\$ 150,972	
Fund Balance - Ending	\$ 64,789		\$ 158,620	

Eden Hills
Community Development District
Debt Service Fund Series 2022
Statement of Revenues, Expenditures, and Changes in Fund Balance
For The Period Ending May 31, 2023

	Adopted	Prorated Budget	Actual	
	Budget	Thru 05/31/23	Thru 05/31/23	Variance
Revenues:				
Assessments - Direct Bill	\$ 604,294	\$ 604,294	\$ 58,100	\$ (546,194)
Assessments - Lot Closings	\$ -	\$ -	\$ 386,225	\$ 386,225
Interest	\$ -	\$ -	\$ 19,647	\$ 19,647
Total Revenues	\$ 604,294	\$ 604,294	\$ 463,972	\$ (140,322)
Expenditures:				
Interest - 11/1	\$ 263,518	\$ 263,518	\$ 263,518	\$ -
Principal - 5/1	\$ 195,000	\$ 195,000	\$ 195,000	\$ -
Interest - 5/1	\$ 206,231	\$ 206,231	\$ 206,231	\$ -
Total Expenditures	\$ 664,749	\$ 664,749	\$ 664,749	\$ -
Excess (Deficiency) of Revenues over Expenditures	\$ (60,455)		\$ (200,777)	
Fund Balance - Beginning	\$ 263,525		\$ 877,865	
Fund Balance - Ending	\$ 203,070		\$ 677,088	

Eden Hills
Community Development District
Capital Projects Fund Series 2020
Statement of Revenues, Expenditures, and Changes in Fund Balance
For The Period Ending May 31, 2023

	Adopted	Prorated Budget	Actual	
	Budget	Thru 05/31/23	Thru 05/31/23	Variance
Revenues				
Developer Contributions	\$ -	\$ -	\$ 396,324	\$ 396,324
Total Revenues	\$ -	\$ -	\$ 396,324	\$ 396,324
Expenditures:				
Capital Outlay	\$ -	\$ -	\$ 396,324	\$ (396,324)
Total Expenditures	\$ -	\$ -	\$ 396,324	\$ (396,324)
Excess (Deficiency) of Revenues over Expenditures	\$ -		\$ -	
Fund Balance - Beginning	\$ -		\$ (9,891)	
Fund Balance - Ending	\$ -		\$ (9,891)	

Eden Hills
Community Development District
Capital Projects Fund Series 2022
Statement of Revenues, Expenditures, and Changes in Fund Balance
For The Period Ending May 31, 2023

	Adopted	Prorated Budget	Actual	
	Budget	Thru 05/31/23	Thru 05/31/23	Variance
Revenues				
Developer Contributions	\$ -	\$ -	\$ 2,157,805	\$ 2,157,805
Interest	\$ -	\$ -	\$ 2,163	\$ 2,163
Total Revenues	\$ -	\$ -	\$ 2,159,968	\$ 2,159,968
Expenditures:				
Capital Outlay	\$ -	\$ -	\$ 2,059,329	\$ (2,059,329)
Total Expenditures	\$ -	\$ -	\$ 2,059,329	\$ (2,059,329)
Excess (Deficiency) of Revenues over Expenditures	\$ -		\$ 100,639	
Fund Balance - Beginning	\$ -		\$ (232,949)	
Fund Balance - Ending	\$ -		\$ (132,310)	

Eden Hills
Community Development District
Capital Reserve Fund
Statement of Revenues, Expenditures, and Changes in Fund Balance
For The Period Ending May 31, 2023

	Adopted Budget	Prorated Budget Thru 05/31/23	Actual Thru 05/31/23	Variance
<u>Revenues</u>				
Interest	\$ -	\$ -	\$ -	\$ -
Total Revenues	\$ -	\$ -	\$ -	\$ -
<u>Expenditures:</u>				
Capital Outlay	\$ -	\$ -	\$ -	\$ -
Total Expenditures	\$ -	\$ -	\$ -	\$ -
Excess (Deficiency) of Revenues over Expenditures	\$ -		\$ -	
<u>Other Financing Sources/(Uses)</u>				
Transfer In/(Out)	\$ 80,135	\$ -	\$ -	\$ -
Total Other Financing Sources (Uses)	\$ 80,135	\$ -	\$ -	\$ -
Net Change in Fund Balance	\$ 80,135		\$ -	
Fund Balance - Beginning	\$ -		\$ -	
Fund Balance - Ending	\$ 80,135		\$ -	

Eden Hills
Community Development District
Month to Month

	Oct	Nov	Dec	Jan	Feb	March	April	May	June	July	Aug	Sept	Total
<u>Revenues:</u>													
Assessments - Tax Roll	\$ -	\$ 5,311	\$ 85,355	\$ 10,622	\$ 1,549	\$ 2,347	\$ 790	\$ 185	\$ -	\$ -	\$ -	\$ -	\$ 106,160
Assessments - Direct Bill	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 52,500	\$ -	\$ -	\$ -	\$ -	\$ 52,500
Assessments - Lot Closings	\$ -	\$ 38,250	\$ 123,750	\$ -	\$ -	\$ 32,250	\$ 750	\$ 32,250	\$ -	\$ -	\$ -	\$ -	\$ 227,250
Developer Contributions	\$ 20,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 20,000
Total Revenues	\$ 20,000	\$ 43,561	\$ 209,105	\$ 10,622	\$ 1,549	\$ 34,597	\$ 1,540	\$ 84,935	\$ -	\$ -	\$ -	\$ -	\$ 405,910
<u>Expenditures:</u>													
<u>General & Administrative:</u>													
Supervisor Fees	\$ -	\$ -	\$ -	\$ -	\$ 1,200	\$ -	\$ 1,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 2,200
Engineering	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 218	\$ 110	\$ 1,005	\$ -	\$ -	\$ -	\$ -	\$ 1,333
Attorney	\$ 1,496	\$ 110	\$ -	\$ 112	\$ 2,471	\$ 1,388	\$ 2,603	\$ 1,018	\$ -	\$ -	\$ -	\$ -	\$ 9,197
Annual Audit	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Assessment Administration	\$ 5,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 5,000
Arbitrage	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Dissemination	\$ 500	\$ 500	\$ 500	\$ 500	\$ 500	\$ 500	\$ 500	\$ 500	\$ -	\$ -	\$ -	\$ -	\$ 4,000
Trustee Fees	\$ 673	\$ -	\$ -	\$ 3,750	\$ -	\$ -	\$ 2,020	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 6,444
Management Fees	\$ 3,154	\$ 3,154	\$ 3,154	\$ 3,154	\$ 3,154	\$ 3,154	\$ 3,154	\$ 3,154	\$ -	\$ -	\$ -	\$ -	\$ 25,235
Information Technology	\$ 150	\$ 150	\$ 150	\$ 150	\$ 150	\$ 150	\$ 150	\$ 150	\$ -	\$ -	\$ -	\$ -	\$ 1,200
Website Technology	\$ 100	\$ 100	\$ 100	\$ 100	\$ 100	\$ 100	\$ 100	\$ 100	\$ -	\$ -	\$ -	\$ -	\$ 800
Postage & Delivery	\$ 2	\$ 1	\$ 26	\$ 49	\$ 30	\$ 63	\$ 23	\$ 54	\$ -	\$ -	\$ -	\$ -	\$ 248
Insurance	\$ 5,563	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 5,563
Copies	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 9	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 9
Legal Advertising	\$ -	\$ -	\$ -	\$ -	\$ 316	\$ 747	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,063
Other Current Charges	\$ 39	\$ 38	\$ 39	\$ 38	\$ 38	\$ 38	\$ 39	\$ (8)	\$ -	\$ -	\$ -	\$ -	\$ 262
Office Supplies	\$ 0	\$ 0	\$ 0	\$ 0	\$ 0	\$ 3	\$ 1	\$ 3	\$ -	\$ -	\$ -	\$ -	\$ 8
Dues, Licenses & Subscriptions	\$ 175	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 175
Total General & Administrative	\$ 16,852	\$ 4,053	\$ 3,969	\$ 7,854	\$ 7,960	\$ 6,370	\$ 9,701	\$ 5,977	\$ -	\$ -	\$ -	\$ -	\$ 62,736

Eden Hills
Community Development District
Month to Month

	Oct	Nov	Dec	Jan	Feb	March	April	May	June	July	Aug	Sept	Total
<i>Operations & Maintenance</i>													
Field Expenditures													
Property Insurance	\$ 895	\$ -	\$ -	\$ -	\$ -	\$ -	6,258	\$ -	\$ -	\$ -	\$ -	\$ -	7,153
Field Management	\$ 625	\$ 625	\$ 625	\$ 625	\$ 625	\$ 625	\$ 625	\$ 625	\$ -	\$ -	\$ -	\$ -	5,000
Landscape Maintenance	\$ 1,912	\$ 1,912	\$ 1,912	\$ 1,912	\$ 1,912	\$ 1,912	\$ 1,912	\$ 6,755	\$ -	\$ -	\$ -	\$ -	20,139
Landscape Replacement	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	-
Streetlights	\$ 1,220	\$ 1,220	\$ 1,220	\$ 1,220	\$ 1,330	\$ 1,330	\$ 1,330	\$ 4,193	\$ -	\$ -	\$ -	\$ -	13,060
Electric	\$ 302	\$ 233	\$ 283	\$ 358	\$ 300	\$ 264	\$ 358	\$ 516	\$ -	\$ -	\$ -	\$ -	2,614
Sidewalk & Asphalt Maintenance	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	-
Irrigation Repairs	\$ 114	\$ 93	\$ -	\$ 298	\$ 1,339	\$ 250	\$ 95	\$ -	\$ -	\$ -	\$ -	\$ -	2,190
General Repairs & Maintenance	\$ 1,226	\$ -	\$ -	\$ 8,279	\$ -	\$ -	\$ 809	\$ -	\$ -	\$ -	\$ -	\$ -	10,314
Contingency	\$ -	\$ -	\$ -	\$ 5,366	\$ -	\$ -	\$ 4,419	\$ -	\$ -	\$ -	\$ -	\$ -	9,785
Subtotal Field Expenditures	\$ 6,294	\$ 4,083	\$ 4,039	\$ 18,058	\$ 5,506	\$ 4,381	\$ 15,806	\$ 12,088	\$ -	\$ -	\$ -	\$ -	70,255
Amenity Expenditures													
Amenity - Electric	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 579	\$ 2,445	\$ -	\$ -	\$ -	\$ -	3,023
Amenity - Water	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 110	\$ -	\$ -	\$ -	\$ -	110
Playground Lease	\$ 4,254	\$ 4,254	\$ 4,254	\$ 4,254	\$ 4,254	\$ 4,254	\$ 4,254	\$ 4,254	\$ -	\$ -	\$ -	\$ -	34,035
Internet	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 261	\$ -	\$ -	\$ -	\$ -	261
Pest Control	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	-
Janitorial Service	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	-
Security Services	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 13,200	\$ -	\$ -	\$ -	\$ -	13,200
Amenity Access Management	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 417	\$ -	\$ -	\$ -	\$ -	417
Pool Maintenance	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 2,480	\$ -	\$ -	\$ -	\$ -	2,480
Amenity Repairs & Maintenance	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	-
Contingency	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	-
Subtotal Amenity Expenditures	\$ 4,254	\$ 4,254	\$ 4,254	\$ 4,254	\$ 4,254	\$ 4,254	\$ 4,833	\$ 23,167	\$ -	\$ -	\$ -	\$ -	53,526
Total Operations & Maintenance	\$ 10,549	\$ 8,337	\$ 8,294	\$ 22,312	\$ 9,760	\$ 8,635	\$ 20,639	\$ 35,255	\$ -	\$ -	\$ -	\$ -	123,780
Total Expenditures	\$ 27,401	\$ 12,390	\$ 12,263	\$ 30,166	\$ 17,721	\$ 15,004	\$ 30,339	\$ 41,232	\$ -	\$ -	\$ -	\$ -	186,517
Net Change in Fund Balance	\$ (7,401)	\$ 31,171	\$ 196,843	\$ (19,544)	\$ (16,172)	\$ 19,593	\$ (28,799)	\$ 43,703	\$ -	\$ -	\$ -	\$ -	219,393

Eden Hills

Community Development District

Long Term Debt Report

Series 2020, Special Assessment Revenue Bonds	
Interest Rate:	2.750%, 3.300%, 3.850%, 4.125%
Maturity Date:	5/1/2051
Reserve Fund Definition	50% of Maximum Annual Debt Service
Reserve Fund Requirement	\$86,038
Reserve Fund Balance	\$86,038
Bonds Outstanding - 11/24/20	\$2,950,000
Less: Principal Payment - 5/1/22	(\$55,000)
Less: Principal Payment - 5/1/23	(\$55,000)
Current Bonds Outstanding	\$2,840,000

Series 2022, Special Assessment Revenue Bonds	
Interest Rate:	3.250%, 3.625%, 4.000%, 4.125%
Maturity Date:	5/1/2052
Reserve Fund Definition	Maximum Annual Debt Service
Reserve Fund Requirement	\$604,294
Reserve Fund Balance	\$604,294
Bonds Outstanding - 03/11/22	\$10,465,000
Less: Principal Payment - 5/1/23	(\$195,000)
Current Bonds Outstanding	\$10,270,000

Eden Hills
COMMUNITY DEVELOPMENT DISTRICT
Special Assessment Receipts
Fiscal Year 2023

Gross Assessments	\$	114,515.90	\$	185,133.92	\$	299,649.82
Net Assessments	\$	106,499.79	\$	172,174.55	\$	278,674.33

ON ROLL ASSESSMENTS

							38.22%	61.78%	100.00%
							Series 2020 Debt		
Date	Distribution	Gross Amount	(Discount)/Penalty	Commission	Interest	Net Receipts	O&M Portion	Service	Total
11/16/22	10/1/22-10/31/22	\$2,110.21	(\$84.41)	(\$40.52)	\$0.00	\$1,985.28	\$758.71	\$1,226.57	\$1,985.28
11/21/22	11/1/22-11/6/22	\$10,551.05	(\$422.05)	(\$202.58)	\$0.00	\$9,926.42	\$3,793.54	\$6,132.88	\$9,926.42
11/25/22	11/7/22-11/13/22	\$2,110.21	(\$84.41)	(\$40.52)	\$0.00	\$1,985.28	\$758.71	\$1,226.57	\$1,985.28
12/12/22	11/14/22-11/23/22	\$29,542.94	(\$1,181.74)	(\$567.22)	\$0.00	\$27,793.98	\$10,621.91	\$17,172.07	\$27,793.98
12/21/22	11/24/22-11/30/22	\$189,918.90	(\$7,596.90)	(\$3,646.44)	\$0.00	\$178,675.56	\$68,283.68	\$110,391.88	\$178,675.56
12/23/22	12/01/22-12/15/22	\$21,102.10	(\$822.99)	(\$405.58)	\$0.00	\$19,873.53	\$7,594.98	\$12,278.55	\$19,873.53
12/31/22	1% Fee Adj	(\$2,996.50)	\$0.00	\$0.00	\$0.00	(\$2,996.50)	(\$1,145.16)	(\$1,851.34)	(\$2,996.50)
1/13/23	11/14-11/23/23	\$29,542.94	(\$1,181.74)	(\$567.22)	\$0.00	\$27,793.98	\$10,621.91	\$17,172.07	\$27,793.98
2/16/23	01/01-01/31	\$4,220.42	(\$84.42)	(\$82.72)	\$0.00	\$4,053.28	\$1,549.02	\$2,504.26	\$4,053.28
3/17/23	2/1-2/28	\$6,330.63	(\$63.27)	(\$125.35)	\$0.00	\$6,142.01	\$2,347.27	\$3,794.74	\$6,142.01
4/11/23	3/1/23-3/31/23	\$2,110.21	\$0.00	(\$42.20)	\$0.00	\$2,068.01	\$790.32	\$1,277.69	\$2,068.01
5/24/23	interest	\$0.00	\$0.00	\$0.00	\$483.87	\$483.87	\$184.92	\$298.95	\$483.87
TOTAL		\$ 294,543.11	\$ (11,521.93)	\$ (5,720.35)	\$ 483.87	\$ 277,784.70	\$ 106,159.81	\$ 171,624.89	\$ 277,784.70

100%	Net Percent Collected
\$889.63	Balance Remaining to Collect

DIRECT BILL ASSESSMENTS

Eden Hills Addition 2 LLC						
			\$139,999.90			\$87,500.00
Date Received	Due Date	Check Number	Net Assessed	Amount Received	Operations & Maintenance	Series 2022 Debt Service
3/15/23	3/15/23	1071	\$58,100.00	\$58,100.00		\$58,100.00
4/27/23	5/1/23	1082	\$52,500.00	\$52,500.00	\$52,500.00	
	7/1/23		\$29,400.00			\$0.00
			\$ 140,000.00	\$ 110,600.00	\$ 52,500.00	\$ 58,100.00

JMBI Development LLC						
			\$817,037.50			\$517,037.50
Date Received	Due Date	Check Number	Net Assessed	Amount Received	Operations & Maintenance	Series 2022 Debt Service
	10/1/22		\$204,259.38		\$0.00	\$0.00
	12/1/22		\$204,259.38		\$0.00	\$0.00
	2/1/23		\$204,259.38		\$0.00	\$0.00
	5/1/23		\$204,259.38		\$0.00	\$0.00
			\$ 817,037.52	\$ -	\$ -	\$ -